

# K

DESIGN STUDIO

KRISTI KATSRIS

Saskatoon, Saskatchewan  
306.261.9235

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KATSRIS DESIGN STUDIO

DATE	DESCRIPTION
2021-08-16	ISSUED FOR FINAL REVIEW
2021-18-24	REVISED FOR ENGINEERING
2021-08-26	ISSUED FOR PERMIT

CUSTOM ACREAGE  
PRIVATE RESIDENCE

1269 GRASSWOOD RD  
GRASSWOOD, SK  
RM OF CORMAN PARK

ARCHITECTURAL  
COVER SHEET

21-010

2021-08-26  
2:30:21 PM

A0.0.0



## CUSTOM HOME

1269 GRASSWOOD RD  
GRASSWOOD, SK  
RM OF CORMAN PARK



**GENERAL NOTES**

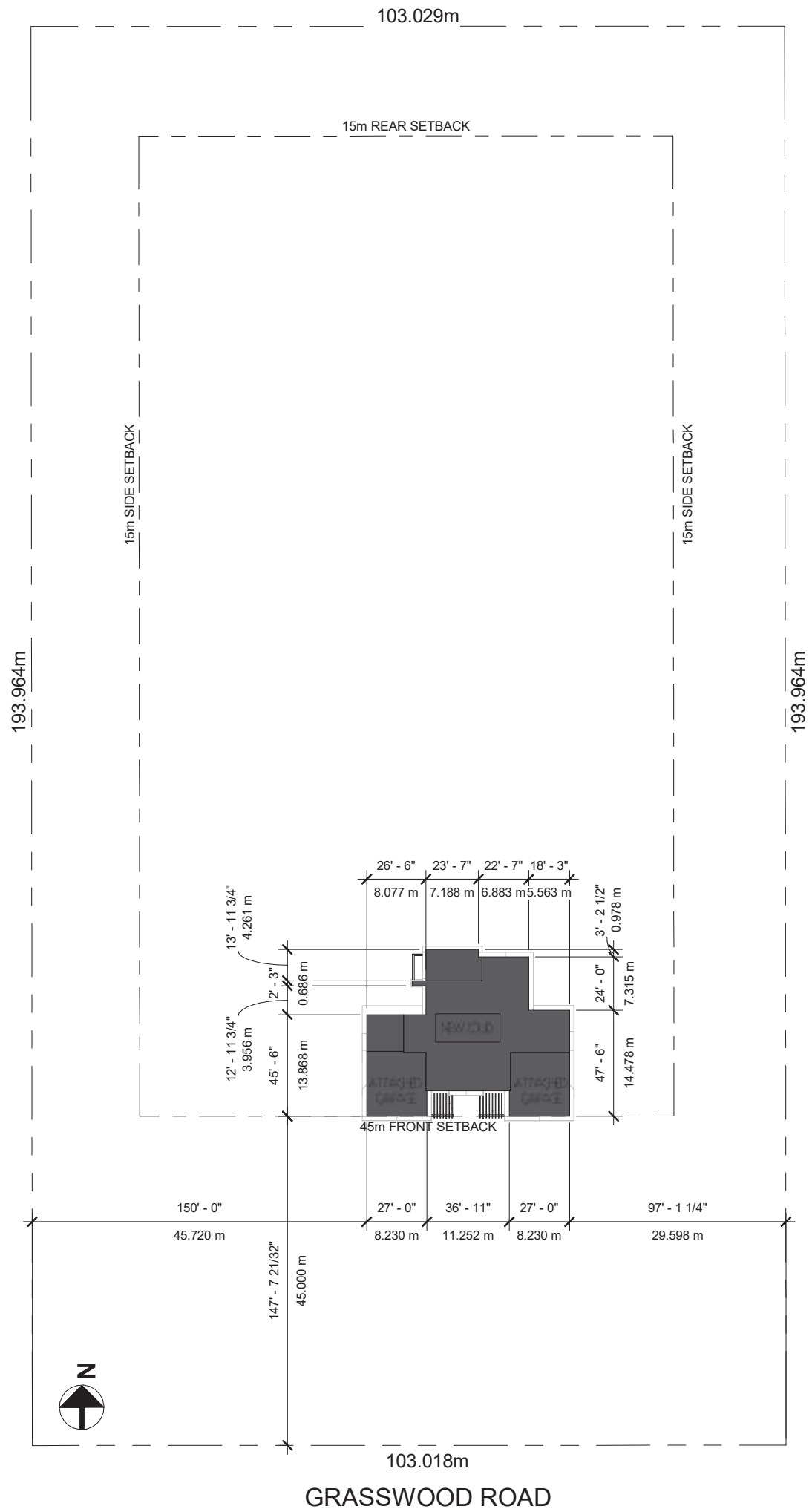
1. BUILDER TO CONFORM TO NATIONAL BUILDING CODE OF CANADA (CBC) PART 9 AND FOLLOW ALL REQUIRED BUILDING STANDARDS AND BYLAWS FOR THE JURISDICTION BEING APPLIED IN
2. DO NOT SCALE DRAWINGS. FOLLOW NOTED DIMENSIONS ON THE DRAWINGS AND REPORT ANY DISCREPANCIES
3. BUILDER SHALL CONFIRM THAT ALL DIMENSIONS, DATUMS, AND INFORMATION SHOWN ARE CORRECT. VERIFY ALL DIMENSIONS ON SITE
4. DIMENSIONS ARE TO STUD FACE OF THE INTERIOR STUDS FACE OF EXTERIOR OR GARAGE WALL SHEATHING OR CENTER OF STRUCTURE UNLESS NOTED OTHERWISE
5. ALL SHOP DRAWINGS ARE REQUIRED FOR ALL STRUCTURAL STEEL, FLOOR TRUSSES, ROOF TRUSSES, SPECIAL DETAILS ETC PRIOR TO THE BEGINNING OF CONSTRUCTION
6. WINDOW SIZES ARE NOTED BY WIDTH AND HEIGHT. ROUGH OPENING SIZES OF WINDOWS AND DOORS TO BE CONFIRMED WITH SUPPLIER AND SHOP DRAWINGS PRIOR TO FRAMING
7. MECHANICAL, ELECTRICAL, AND PLUMBING LOCATIONS TO BE CONFIRMED WITH CONTRACTORS PRIOR TO INSTALLATION (SUGGESTED LOCATIONS ARE NOTED ON THE PLAN IF APPLICABLE)
8. NO MODIFICATIONS PERMITTED TO STRUCTURE WITHOUT WRITTEN APPROVAL OF BUILDER'S STRUCTURAL ENGINEER
9. IT IS RECOMMENDED THAT THE OWNER OBTAIN A GEOTECHNICAL REPORT TO DETERMINE THE GROUNDWATER LEVEL AND VERIFY THE SOIL CONDITIONS + CAPACITIES THAT HAVE BEEN ASSUMED FOR THIS DESIGN. FAILURE TO COMPLY WITH THE GEOTECHNICAL REPORT IS THE SOLE RISK OF THE OWNER.

**SITE PLAN NOTES**

1. THE CONTRACTOR/BUILDER SHALL ENSURE THAT THE PROPOSED STRUCTURE DOES NOT ENCROACH UPON (BURIED) GAS, WATER OR ELECTRICAL SERVICES, OR ANY EASEMENTS OR SETBACKS REGISTERED AGAINST THIS PROPERTY.
2. THIS DRAWING IS NOT A LEGAL SURVEY AND IS INTENDED FOR PLANNING PURPOSES ONLY.
3. SITE GRADING SHALL BE AS PER THE RM OF CORMAN PARK GUIDELINES. IF LOT PREGRADE ELEVATIONS ARE NOTED AT PROPERTY CORNERS ARE 100mm BELOW FINISHED GRADE
4. CONFIRM PROPERTY ELEVATIONS AND PROPOSED MAIN FLOOR AND GARAGE ELEVATION BEFORE CONSTRUCTION BEGINS

**ABBREVIATIONS**

- LINO - UNLESS NOTED OTHERWISE
- NTS - NOT TO SCALE
- MFR - MANUFACTURER
- OLD - ONE UNIT DWELLING
- TYP - TYPICAL
- BSMT - BASEMENT
- C/W - COMPLETE WITH
- L/S - UNDER SIDE
- EW - EACH WAY
- RO - ROUGH OPENING
- O/C - ON CENTER
- O/CV - ON CENTER VERTICALLY
- BM - BEAM
- LBW - LOAD BEARING WALL
- PT - PRESSURE TREATED
- FS - FREE STANDING TUB
- T/O - TOP OF
- ADJ - ADJUSTABLE
- BU - BUILT UP
- WIC - WALK-IN CLOSET
- WTC - WALK-THROUGH CLOSET
- AA - ATTIC ACCESS
- SH - SHELF OR SHELVES
- FD - FLOOR DRAIN
- R/SH - ROD AND SHELF
- COL - COLUMN
- STL - STEEL
- PLBG - PLUMBING



**LOT INFORMATION**

LOT: 18  
 BLOCK: 36-05-03  
 PLAN: 102051302  
 SW 1/4 SEC 3 TWP 36 RGE 5 W 3RD M.

1269 GRASSWOOD ROAD  
 GRASSWOOD, SK  
 RM CORMAN PARK

SITE AREA: 215105.06 ft<sup>2</sup>  
 (4938 ACRES)  
 BUILDING AREA: 5042.77 ft<sup>2</sup>  
 SITE COVERAGE: 2.35%

ZONING: DCR1  
 SASKATOON PLANNING DISTRICT ZONING



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**KRISTI KATSRIS**  
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 306.261.9235

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ARCHITECTURAL  
 SITE PLAN

21-010	A.O.O.!
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ARCHITECTURAL  
 FLOOR PLAN  
 MAIN

2100	A2.11
2021-08-27 12:34 AM	

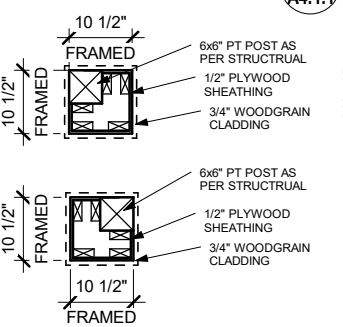
- STRUCTURAL NOTES**
- ENGINEERED FLOOR JOISTS, ROOF TRUSSES AND LVL BEAMS SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN SASKATCHEWAN
  - WOOD UNITS FOR EXTERIOR LOAD BEARING WALLS SHALL CONFORM TO NBC 9.23.12
  - ALL UNITS SHALL BE 2 PLY 2x6 SPRUCE UNITS LONGER THAN 6'-0" SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN SASKATCHEWAN
  - ADDITIONAL STUDS EACH SIDE OF OPENINGS LESS THAN 4'-0" (1200mm) WIDTH 1 GYPSE + 1 FULL HT STUD  
 4'-0" - 8'-0" (1200mm - 2400mm) WIDTH 1 GYPSE + 2 FULL HT STUDS  
 MORE THAN 8'-0" (2400mm) WIDTH 2 GYPSES + 3 FULL HT STUDS
  - TOTAL NUMBER OF PLYS IN A BUILT UP WOOD COLUMN SHALL BE NO LESS THAN THE PLYS OF OF THE BEAM OR TRUSS IT IS SUPPORTING
  - BU WOOD COLUMNS SHALL BE NAILED WITH MINIMUM 3" NAILS @ 12" o.c.
  - 2x6 BLOORING SHALL BE USED FOR FLOOR FRAMING AT ALL POINT LOAD LOCATIONS
  - ALL LUMBER SHALL BE SPF #2 OR BETTER AND FASTENERS MUST MEET AND BE INSTALLED AS PER NBC 205
  - FLUSH LVL BEAMS TO BE SUPPORTED BY STEEL BEAMS AND NON CONTINUOUS

- FLOOR PLAN NOTES**
- CONFIRM ALL COLUMN LOCATIONS WITH SUPPORTED STRUCTURAL MEMBERS AND COLUMNS BELOW
  - REFER TO FOUNDATION PLAN ON S21 FOR MAIN FLOOR BEAM & COLUMN LOCATIONS
  - COORDINATE EXACT WINDOW AND EXTERIOR DOOR LOCATIONS. MAINTAIN SPACING BETWEEN WINDOWS, DOORS AND CORNERS TO ALLOW FOR EXTERIOR AND INTERIOR TRIM
  - REFER TO BUILDING SECTIONS FOR FULL WALL FLOOR & ROOF ASSEMBLY CALLUPS
  - EXTERIOR DIMENSIONS TO FACE OF OUTSIDE SHEATHING
  - INTERIOR DIMENSIONS TO FACE OF WALL STUD UNO

- TALL WALL NOTES**
- CONTRACTOR TO INSTALL ALL UNITS, GYPSE AND JACK STUDS AS REQUIRED BY THE NBC DESIGN BY OTHERS
  - SEE DRAWING A3.2 FOR TALL WALL FRAMING NOTES AND WALL FRAMING ELEVATIONS
  - FULL DEPTH BLOORING @ 4'-0" o.c. MAX
  - WOOD PROPERTIES SHALL BE SPF #2 OR BETTER UNO

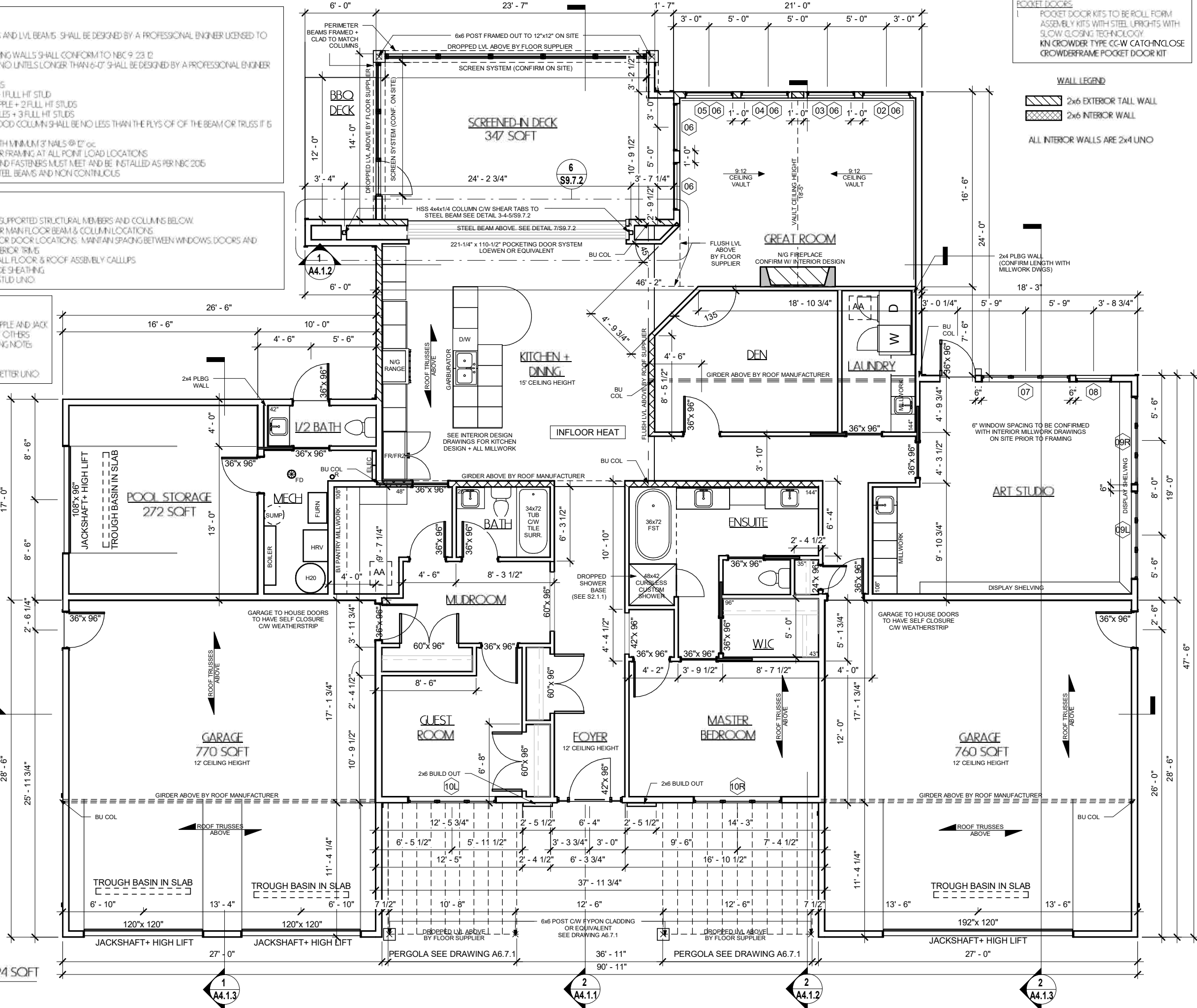
**MECHANICAL ROOM**  
 MECHANICAL ROOM LAYOUT TO BE CONFIRMED ON SITE BY BUILDER/CONTRACTOR IN COORDINATION WITH MECHANICAL AND ELECTRICAL TRADES

**NOTES**  
 COLUMN FRAMING SHOWING FOR REFERENCE ONLY. FRAMING DETERMINED ON SITE TO SUIT SIZES SHOWN



**SCREEN ROOM DECK COLUMNS**

1 MAIN FLOOR 2894 SOFT  
 A2.1.1 1/8" = 1'-0"





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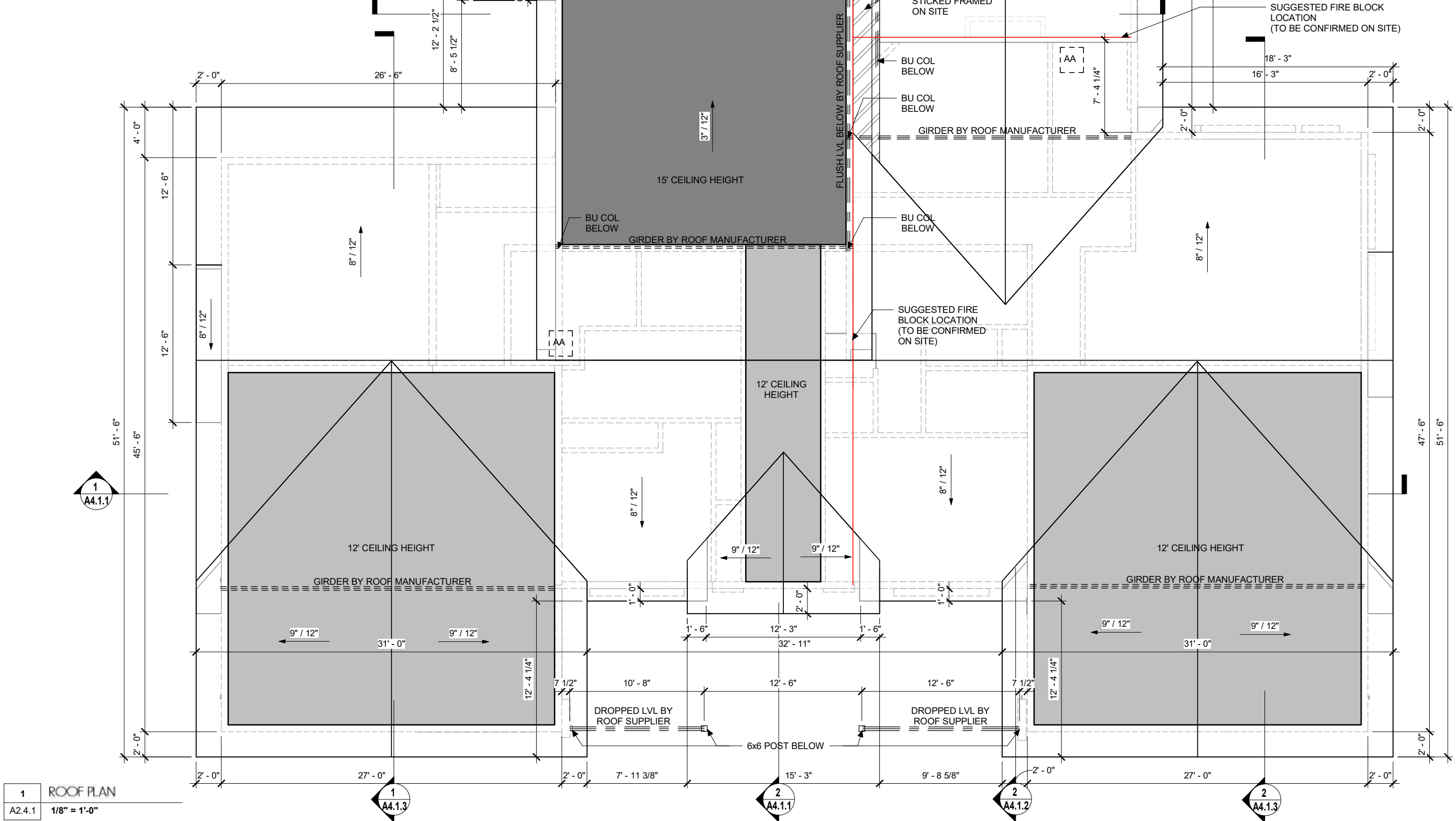
ARCHITECTURAL  
 FLOOR PLAN  
 ROOF

2-00	A2.41
2021-08-27 12:36 AM	

- ROOF PLAN NOTES**
1. CONFIRM ALL BEAM & GIRDER LOCATIONS WITH SUPPORTED STRUCTURAL MEMBERS AND COLUMNS BELOW.
  2. ROOF TRUSSES, GIRDERS AND BEAMS DESIGNED BY TRUSS MANUFACTURER.
  3. ALL ROOF OVERHANGS 2'-0" UNO.
  4. COORDINATE EXACT WINDOW AND EXTERIOR DOOR LOCATIONS. MAINTAIN SPACING BETWEEN WINDOWS, DOORS AND CORNERS TO ALLOW FOR EXTERIOR AND INTERIOR TRIMS.
  5. REFER TO BUILDING SECTIONS FOR FULL WALL FLOOR & ROOF ASSEMBLY CALLUPS.
  6. EXTERIOR DIMENSIONS TO FACE OF OUTSIDE SHEATHING.
  7. INTERIOR DIMENSIONS TO FACE OF WALL STUD.

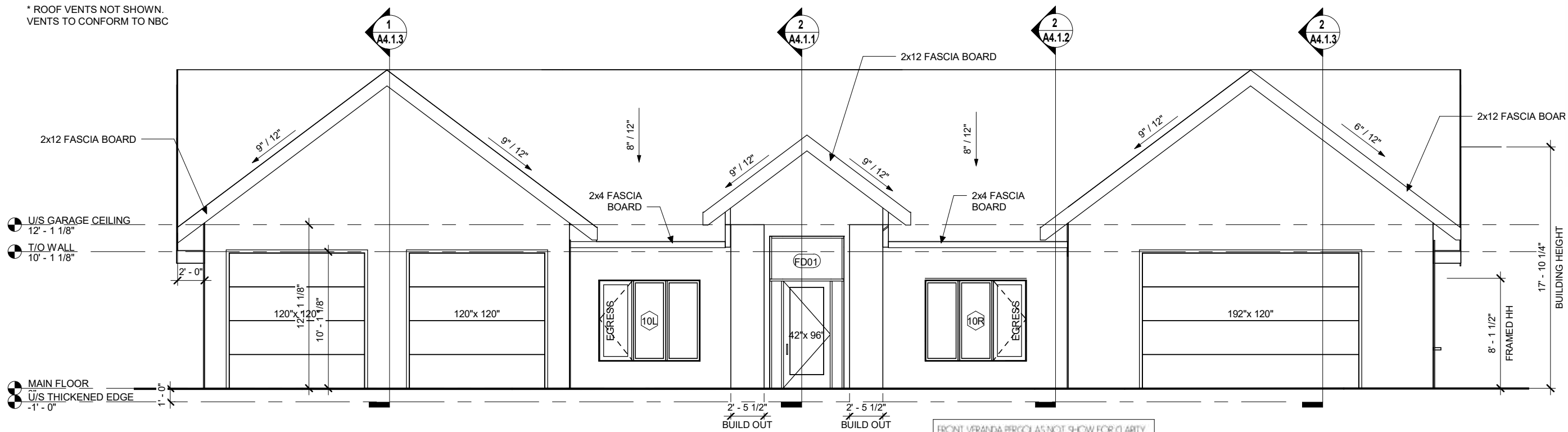
**NOTE**  
 ROOF SPACE REQUIRED TO BE VENTED WITH A MINIMUM UNOBSTRUCTED VENT AREA OF 1/300 OF THE INSULATED CEILING AREA. VENTS MUST BE UNIFORMLY DISTRIBUTED ON OPPOSITE SIDES OF THE BUILDING WITH NOT LESS THAN 25% OF THE REQUIRED AREA AT THE TOP OF THE ROOF AND NOT LESS THAN 25% LOCATED AT THE BOTTOM OF THE ROOF.

**FIRE BLOCKING NOTES**  
 ATTIC SPACES SHALL BE SEPARATED BY FIRE BLOCKS INTO COMPARTMENTS NOT MORE THAN 20m (65'-7") IN LENGTH AND NOT MORE THAN 300m<sup>2</sup> (3229 ft<sup>2</sup>) IN AREA.



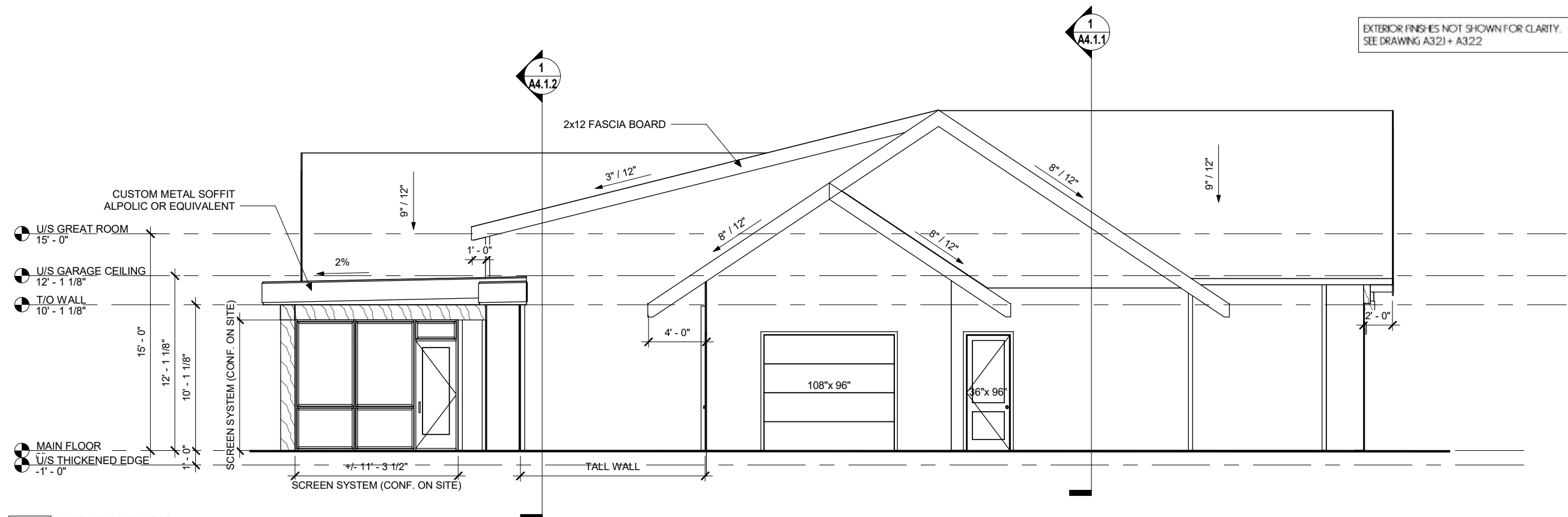
1 ROOF PLAN  
 A2.4.1 1/8" = 1'-0"

\* ROOF VENTS NOT SHOWN.  
VENTS TO CONFORM TO NBC



**1 SOUTH ELEVATION (FRONT)**  
A3.1.1 1/8" = 1'-0"

FRONT VERANDA PERGOLAS NOT SHOWN FOR CLARITY.  
SEE DETAIL DRAWINGS ON PAGE A6/71



**2 WEST ELEVATION**  
A3.1.1 1/8" = 1'-0"

EXTERIOR FINISHES NOT SHOWN FOR CLARITY.  
SEE DRAWING A321 + A322

- EXTERIOR NOTES**
- 1 PROVIDE PRE-FINISHED FLASHING OVER ALL EXTERIOR DOORS & WINDOWS
  - 2 ALL WINDOWS LESS THAN 2m (6'-6") TO GRADE SHALL COMPLY WITH CAN/CSA-A440-M FOR RESISTANCE TO FORCED ENTRY
  - 3 ALL BEDROOMS MUST HAVE AN OPENABLE WINDOW WITH A MINIMUM UNOBSTRUCTED OPENING OF 3/76 (0.35m<sup>2</sup>) WITH NO DIMENSION LESS THAN 62 (380mm) AWNING WINDOWS DO NOT MEET EGRESS REQUIREMENTS
  - 4 ALL DOORS FROM GARAGE TO HOUSE ARE c/w WEATHER STRIPPING & SELF-CLOSING DEVICE

- TALL WALL NOTES**
- 1 SEE DRAWING 5972 FOR TALL WALL FRAMING NOTES AND TALL WALL FRAMING ELEVATIONS
  - 2 CONTRACTOR TO INSTALL ALL UNITS, CRIPPLE AND JACK STUDS AS REQUIRED BY THE NBC DESIGN BY OTHERS
  - 3 FULL DEPTH BLOTTING @ 4'-0" o.c. MAX  
WOOD PROPERTIES SHALL BE 5PF #2 OR BETTER UNDO



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ARCHITECTURAL  
EXTERIOR  
ELEVATIONS  
SHEET 1

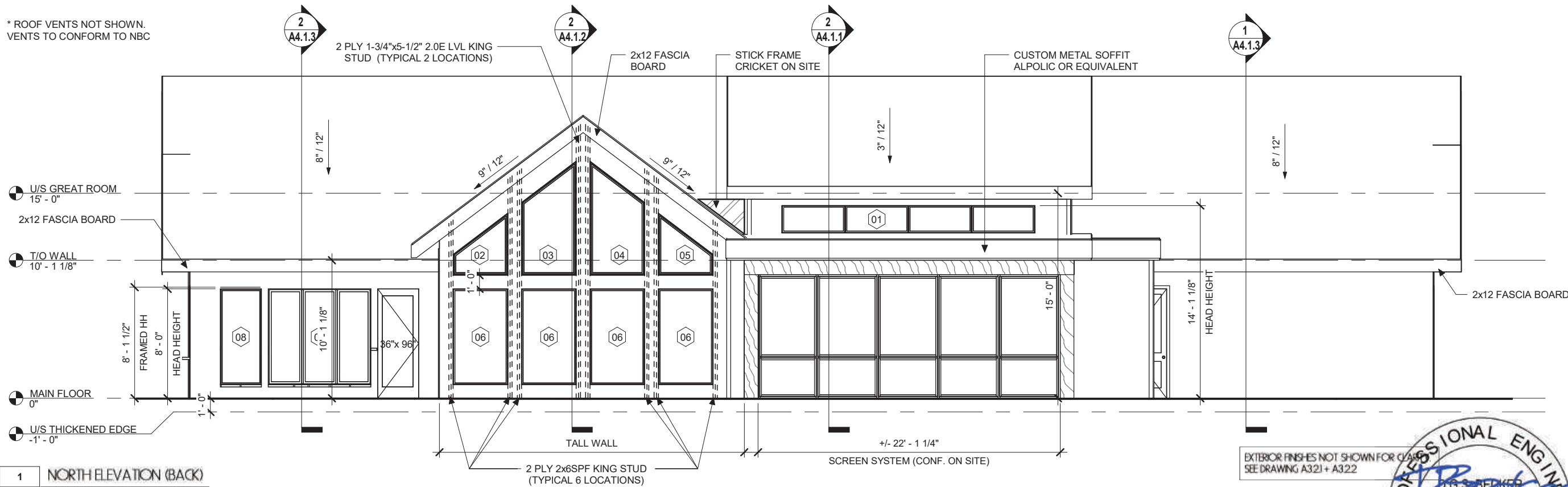
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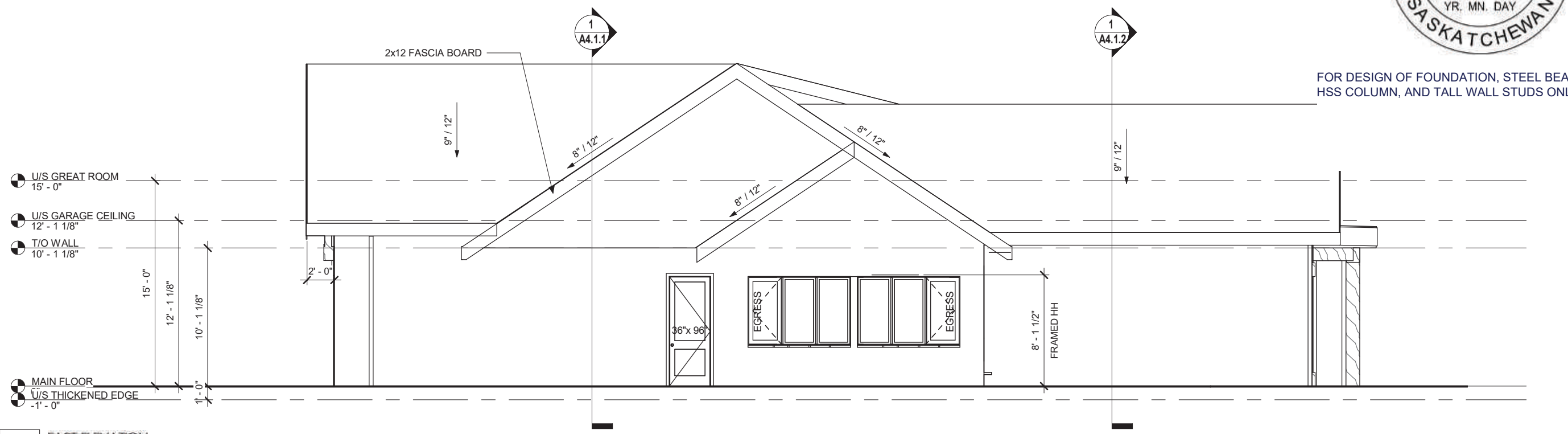
A3.11



\* ROOF VENTS NOT SHOWN.  
VENTS TO CONFORM TO NBC



**1 NORTH ELEVATION (BACK)**  
A3.1.2 1/8" = 1'-0"



**2 EAST ELEVATION**  
A3.1.2 1/8" = 1'-0"

**EXTERIOR NOTES**

- 1 PROVIDE PRE-FINISHED FLASHING OVER ALL EXTERIOR DOORS & WINDOWS
- 2 ALL WINDOWS LESS THAN 2m (6'-6") TO GRADE SHALL COMPLY WITH CAN/CSA-A44-C-MFOR RESISTANCE TO FORCED ENTRY
- 3 ALL BEDROOMS MUST HAVE AN OPENABLE WINDOW WITH A MINIMUM UNOBSTRUCTED OPENING OF 376 lf (0.35m²) WITH NO DIMENSION LESS THAN 52 (380mm) AWNING WINDOWS DO NOT MEET EGRESS REQUIREMENTS
- 4 ALL DOORS FROM GARAGE TO HOUSE ARE c/w WEATHER STRIPPING & SELF-CLOSING DEVICE

**TALL WALL NOTES**

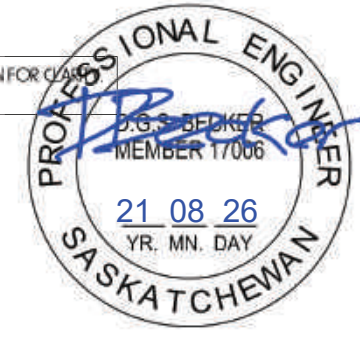
- 1 SEE DRAWING 5972 FOR TALL WALL FRAMING NOTES AND TALL WALL FRAMING ELEVATIONS CONTRACTOR TO INSTALL ALL UNITS, CRIPPLE AND JACK STUDS AS REQUIRED BY THE NBC DESIGN BY OTHERS
- 2 FULL DEPTH BLOCKING @ 4'-0" OC MAX
- 3 WOOD PROPERTIES SHALL BE SPF #2 OR BETTER UNID



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ARCHITECTURAL  
EXTERIOR  
ELEVATIONS  
SHEET 2

21-00	A3.12
2021-08-26 2:30:31 PM	



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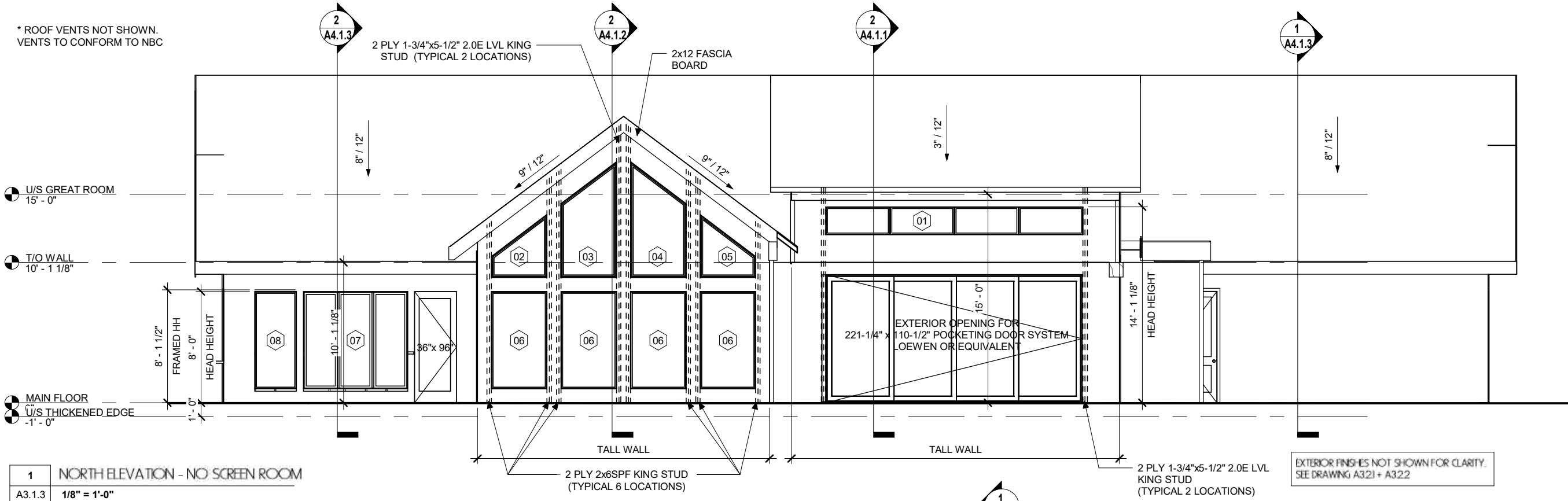
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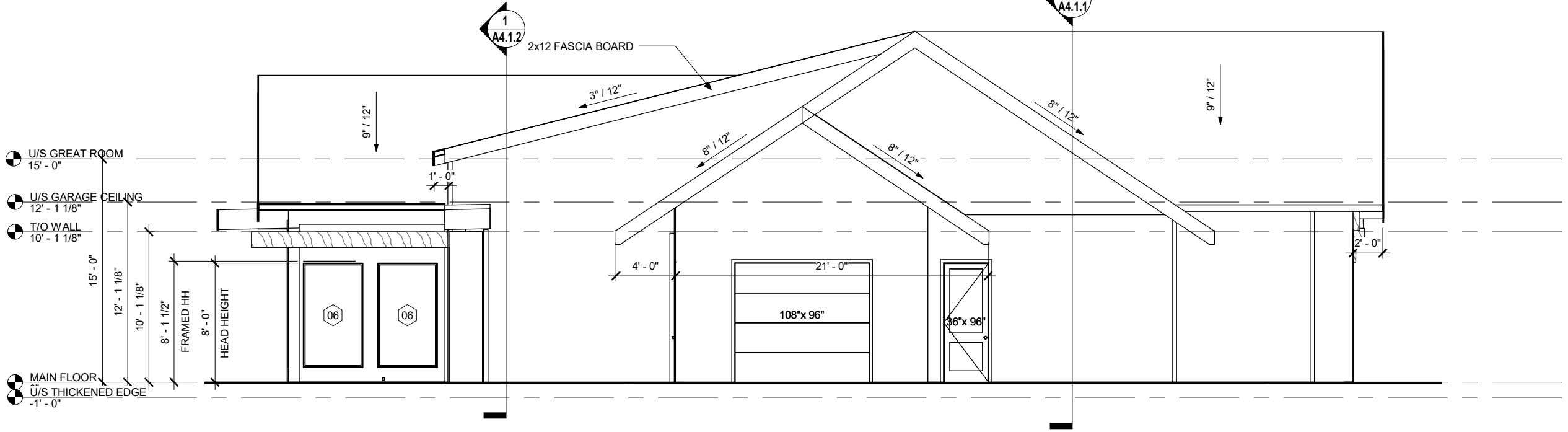
ARCHITECTURAL  
 EXTERIOR  
 ELEVATIONS  
 SHEET 3

2:00	A3.13
2021-08-27 12:39 AM	

\* ROOF VENTS NOT SHOWN.  
 VENTS TO CONFORM TO NBC



**1 NORTH ELEVATION - NO SCREEN ROOM**  
 A3.1.3 1/8" = 1'-0"



**2 WEST ELEVATION - NO SCREEN ROOM**  
 A3.1.3 1/8" = 1'-0"

- EXTERIOR NOTES**
1. PROVIDE PRE-FINISHED FLASHING OVER ALL EXTERIOR DOORS & WINDOWS
  2. ALL WINDOWS LESS THAN 2m (6'-6") TO GRADE SHALL COMPLY WITH CAN/CSA-A440-M FOR RESISTANCE TO FORCED ENTRY
  3. ALL BEDROOMS MUST HAVE AN OPERABLE WINDOW WITH A MINIMUM UNOBSTRUCTED OPENING OF 376 IF (0.35m<sup>2</sup>) WITH NO DIMENSION LESS THAN 527 (380mm) AWNING WINDOWS DO NOT MEET EGRESS REQUIREMENTS
  4. ALL DOORS FROM GARAGE TO HOUSE ARE w/ WEATHER STRIPPING & SELF-CLOSING DEVICE

- TALL WALL NOTES**
1. SEE DRAWING 5972 FOR TALL WALL FRAMING NOTES AND TALL WALL FRAMING ELEVATIONS
  2. CONTRACTOR TO INSTALL ALL UNTELS, GYPSE AND JACK STUDS AS REQUIRED BY THE NBC DESIGN BY OTHERS
  3. FULL DEPTH BLOCCING @ 4'-0" o.c. MAX
  4. WOOD PROPERTIES SHALL BE SP# #2 OR BETTER UNO



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ARCHITECTURAL  
 EXTERIOR  
 ELEVATIONS  
 MAT. CALCULATIONS

21-010	A3.2.1
2021-08-26 2:30:38 PM	

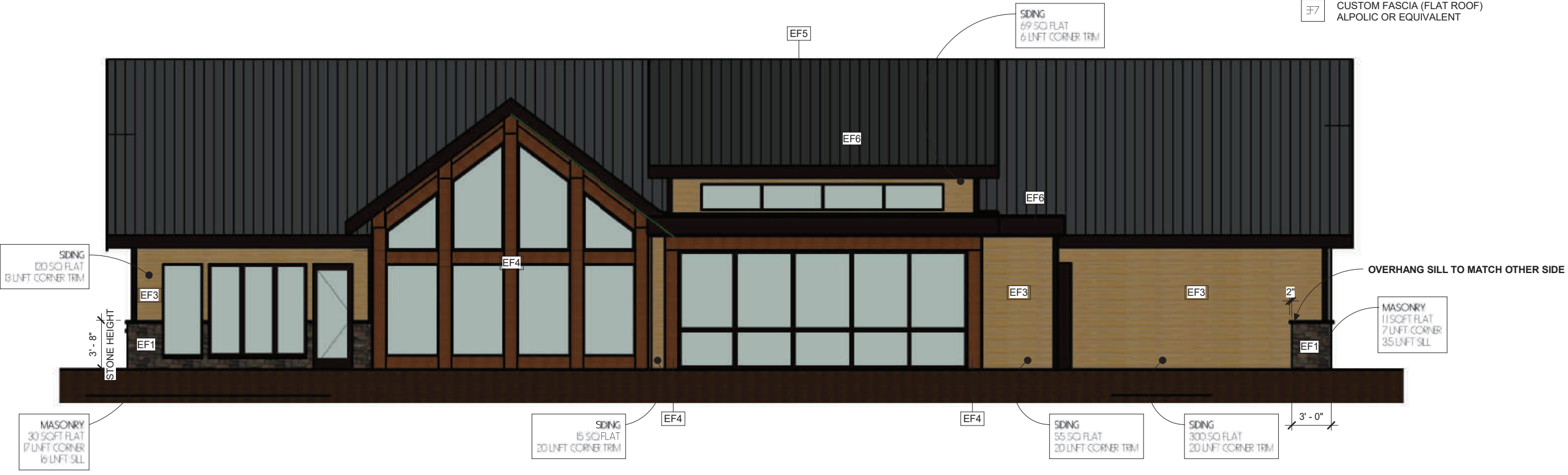


**EXTERIOR FINISHES**

- EF1 EXTERIOR STONE
- EF2 WOODGRAIN SHAKES
- EF3 HORIZONTAL SIDING C/W CORNER TRIM
- EF4 FAUX WOOD CLADDING (FIBERGLASS, METAL OR EQUIVALENT)
- EF5 STANDING SEAM METAL ROOFING
- EF6 ALUMINUM FASCIA, SOFFIT & EAVESTROUGH (FASCIA HEIGHTS AS PER DRAWINGS A3.1.1/A3.1.2/A3.1.3)
- EF7 CUSTOM FASCIA (FLAT ROOF) ALPOLIC OR EQUIVALENT

1 FRONT ELEVATION - MATERIALS  
 A3.2.1 1 : 100

FINISH TAKEOFF MAY VARY.  
 CALCULATIONS DO NOT INCLUDE INTERIOR OF SCREENED IN ROOM  
 SITE MEASURE REQUIRED PRIOR TO FINALIZING MATERIAL COUNT



2 BACK ELEVATION - MATERIALS  
 A3.2.1 1 : 100

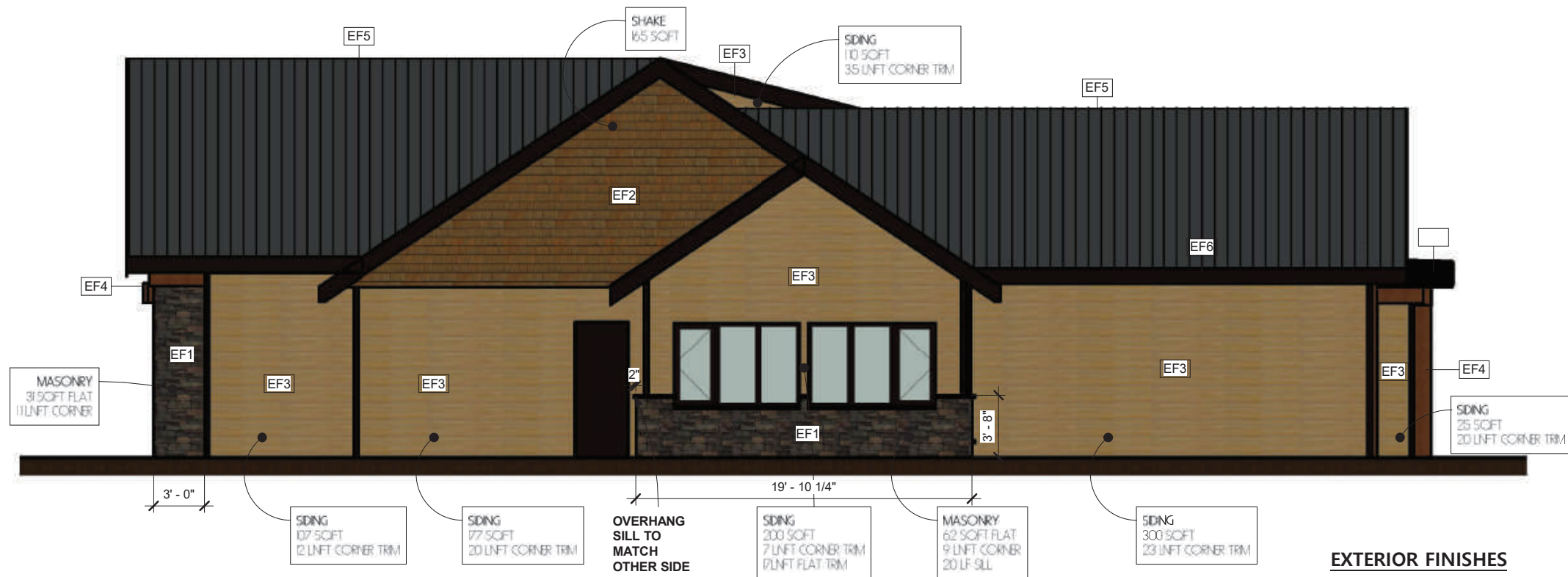




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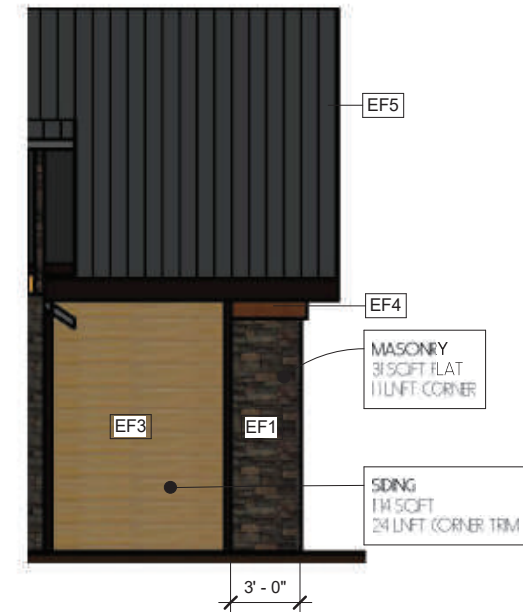


**1** EAST ELEVATION - MATERIALS  
 A3.2.2 1 : 100

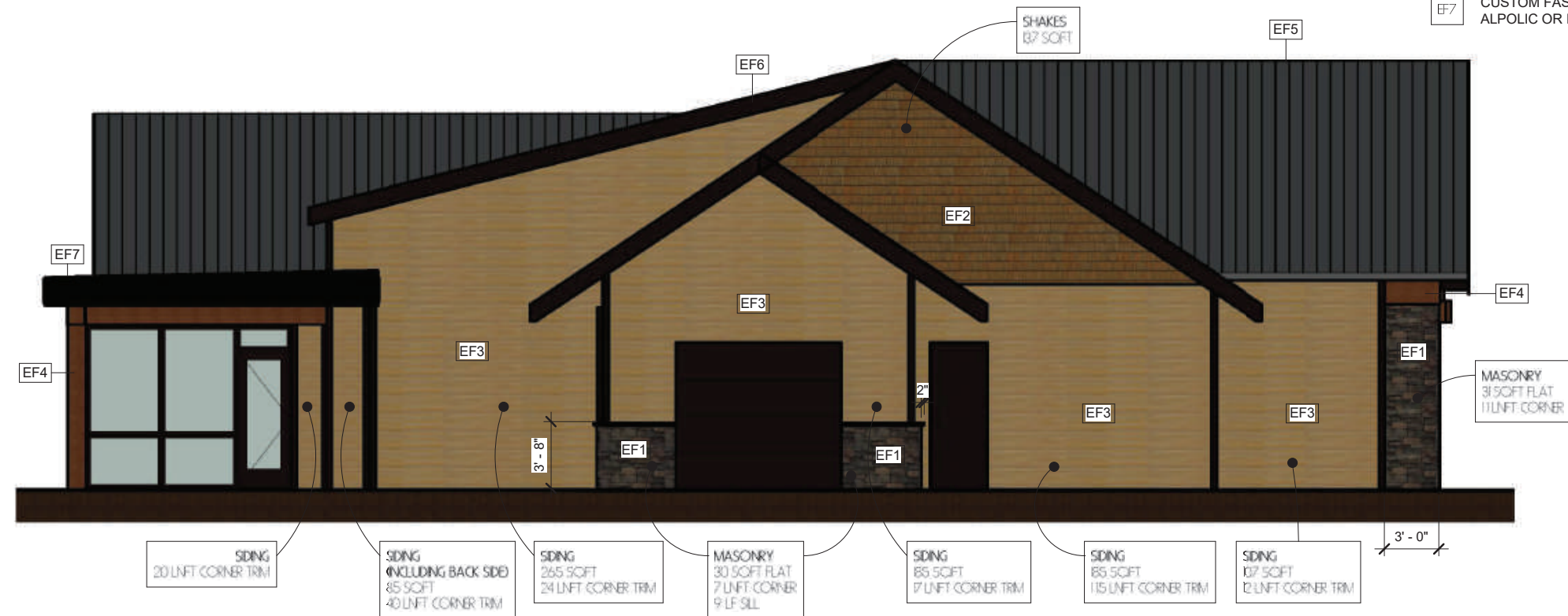
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**EXTERIOR FINISHES**

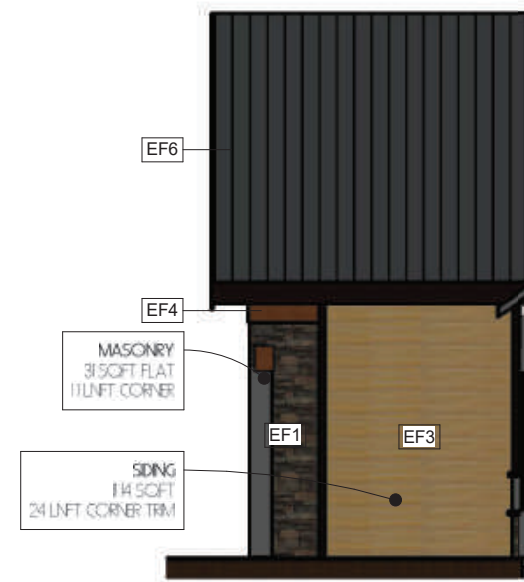
- EF1 EXTERIOR STONE
- EF2 WOODGRAIN SHAKES
- EF3 HORIZONTAL SIDING C/W CORNER TRIM
- EF4 FAUX WOOD CLADDING (FIBERGLASS, METAL OR EQUIVALENT)
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- EF6 ALUMINUM FASCIA, SOFFIT & EAVESTROUGH (FASCIA HEIGHTS AS PER DRAWINGS A3.1.1/A3.1.2/A3.1.3)
- EF7 CUSTOM FASCIA (FLAT ROOF) ALPOLIC OR EQUIVALENT



**3** FRONT ENTRY EAST - MATERIALS  
 A3.2.2 1 : 100



**2** WEST ELEVATION - MATERIALS  
 A3.2.2 1 : 100



**4** FRONT ENTRY WEST - MATERIALS  
 A3.2.2 1 : 100

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21-010	A3.2.2
2021-08-26 23:45 PM	



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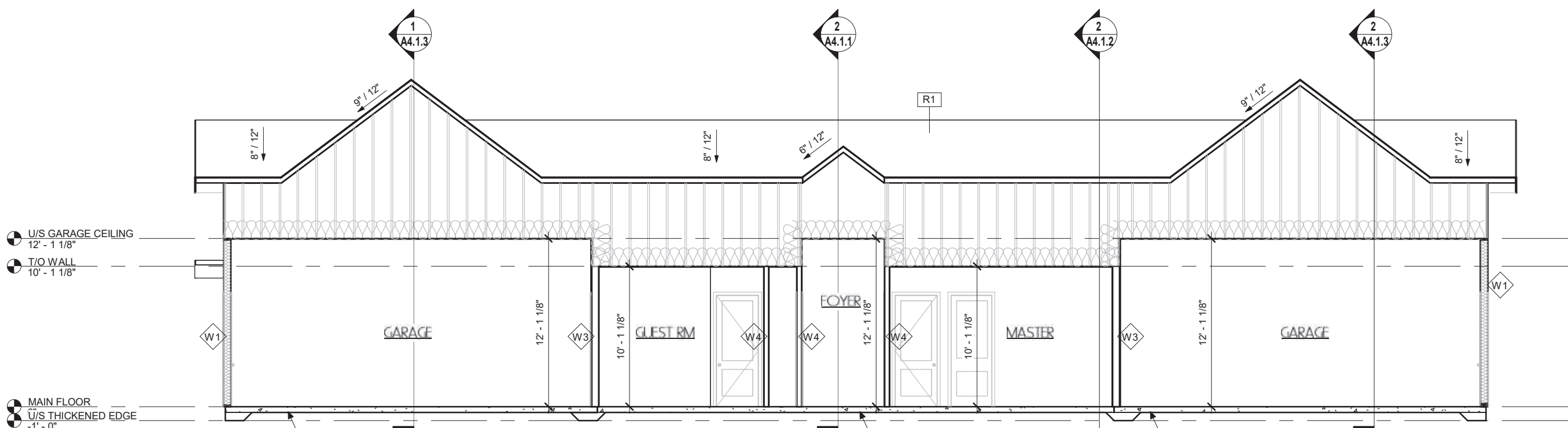
DATE	DESCRIPTION
2021-08-16	ISSUED FOR FINAL REVIEW
2021-18-24	REVISED FOR ENGINEERING
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CUSTOM ACREAGE  
 PRIVATE RESIDENCE

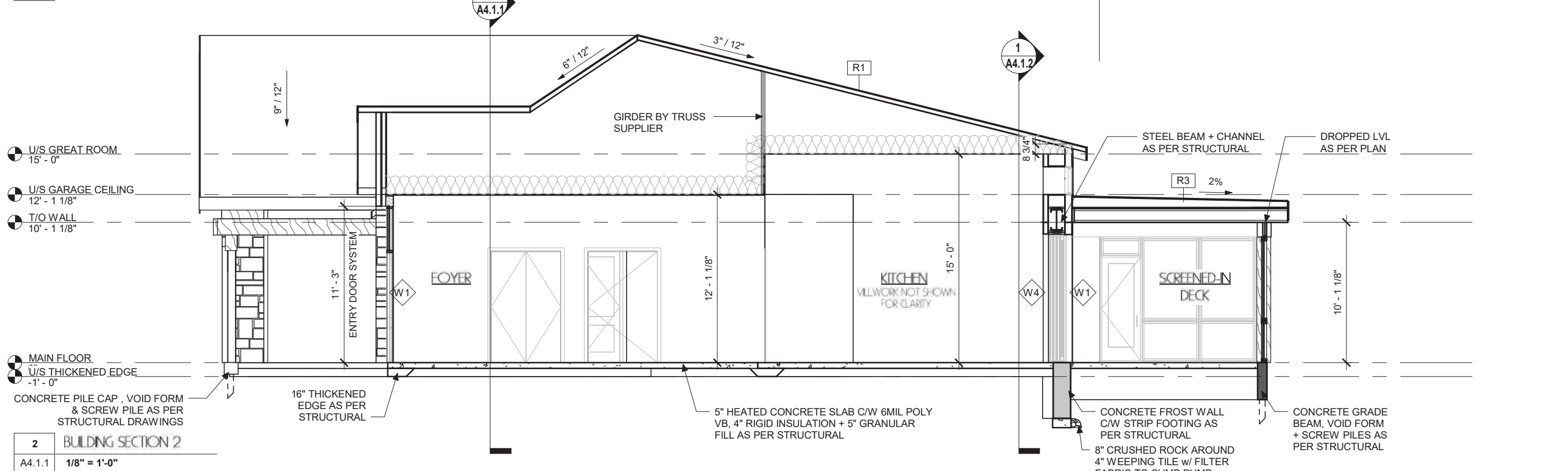
1269 GRASSWOOD RD  
 GRASSWOOD, SK  
 RM OF CORMAN PARK

ARCHITECTURAL  
 BUILDING SECTION

21-010	A4.11
2021-08-26 2:30:47 PM	



**1 BUILDING SECTION 1**  
 A4.1.1 1/8" = 1'-0"



**2 BUILDING SECTION 2**  
 A4.1.1 1/8" = 1'-0"

- W1**  
 FINISH AS PER EXTERIOR ELEVATIONS  
 BUILDING PAPER HOUSEWRAP  
 3/8" OSB SHEATHING OR EQUIVALENT  
 2"x6" WOOD STUDS @ 16" o.c. U.N.O.  
 P.T 2"x6" SPF BOTTOM PLATE  
 R20 BATT INSULATION  
 6 MIL POLY AVB  
 1/2" GYPSUM BOARD
- W2**  
 FINISH AS PER EXTERIOR ELEVATIONS  
 BUILDING PAPER HOUSEWRAP  
 3/8" OSB SHEATHING OR EQUIVALENT  
 PT 2"x6" WOOD STUDS @ 16" o.c. U.N.O.  
 7/16" OSB SHEATHING  
 BUILDING PAPER HOUSEWRAP  
 FINISH AS PER EXTERIOR ELEVATIONS
- W3**  
 1/2" GYPSUM BOARD  
 3/8" OSB SHEATHING OR EQUIVALENT  
 2"x6" WOOD STUDS @ 16" o.c. U.N.O.  
 R20 BATT INSULATION  
 6 MIL POLY AVB  
 1/2" GYPSUM BOARD
- W4**  
 1/2" GYPSUM BOARD  
 2"x4" WOOD STUDS @ 16" o.c. U.N.O.  
 1/2" GYPSUM BOARD
- W5**  
 1/2" GYPSUM BOARD  
 2"x6" WOOD STUDS @ 16" o.c. U.N.O.  
 1/2" GYPSUM BOARD
- W6**  
 2"x4" WOOD STUDS @ 16" o.c. U.N.O.  
 1/2" GYPSUM BOARD
- R1**  
 STANDING SEAM METAL ROOF PANELING  
 BUILDING PAPER w/ 36" EAVE PROTECTION  
 7/16" OSB ROOF SHEATHING w/ H-CLIPS  
 ENGINEERED ROOF TRUSSEES @ 24" o.c.  
 R50 BLOWN-IN FIBREGLASS INSULATION  
 6 MIL POLY AVB  
 1/2" CEILING GYPSUM BOARD
- R2**  
 STANDING SEAM METAL ROOF PANELING  
 BUILDING PAPER w/ 36" EAVE PROTECTION  
 7/16" OSB ROOF SHEATHING w/ H-CLIPS  
 20" ENGINEERED PARALLEL CHORD TRUSSES @ 24" o.c. (ASSUMED)  
 R50 SPRAY APPLIED INSULATION  
 6 MIL POLY AVB  
 1/2" CEILING GYPSUM BOARD
- R3**  
 EPDM ROOF MEMBRANE SYSTEM OR EQUIVALENT  
 3/4" OSB ROOF SHEATHING W/ H-CLIPS  
 ENGINEERED JOISTS  
 (11 7/8" ASSUMED)





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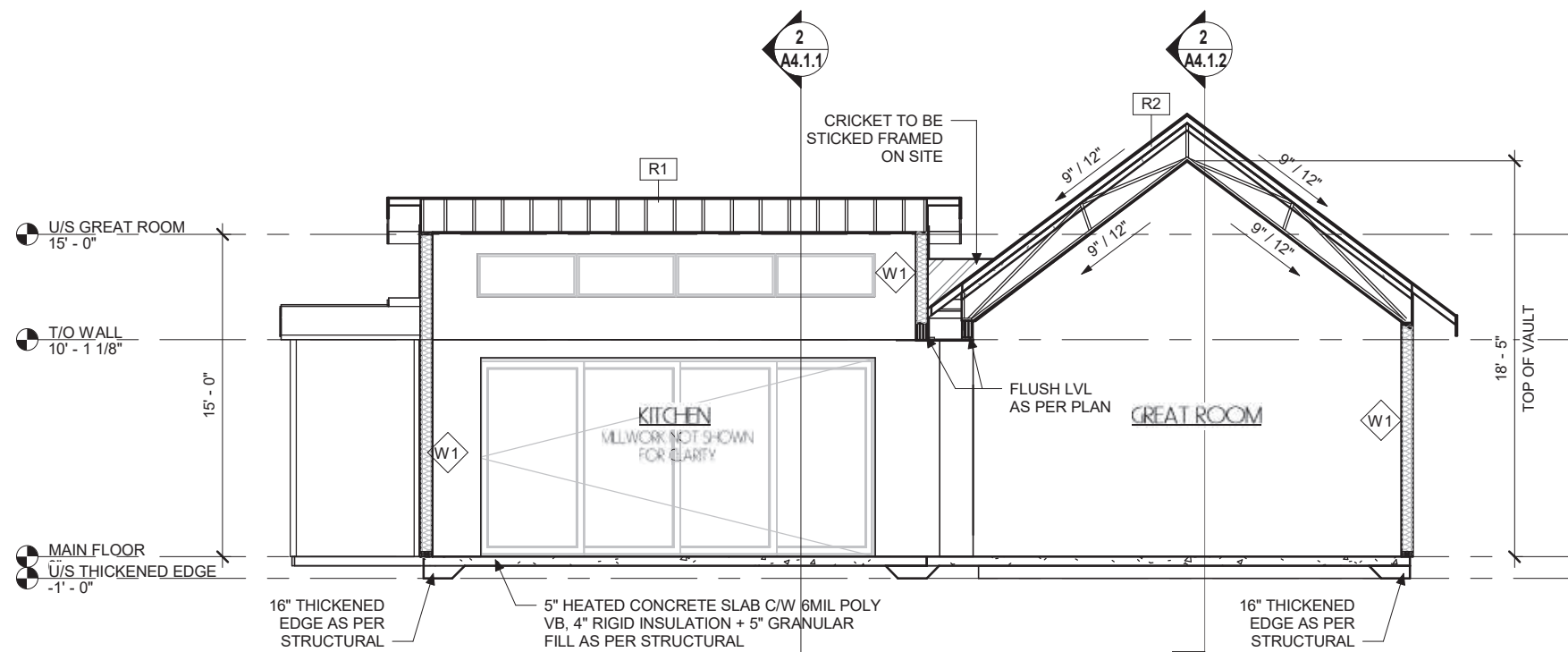
1269 GRASSWOOD RD  
 GRASSWOOD, SK  
 RM OF CORMAN PARK

ARCHITECTURAL  
 BUILDING SECTIONS

2-010

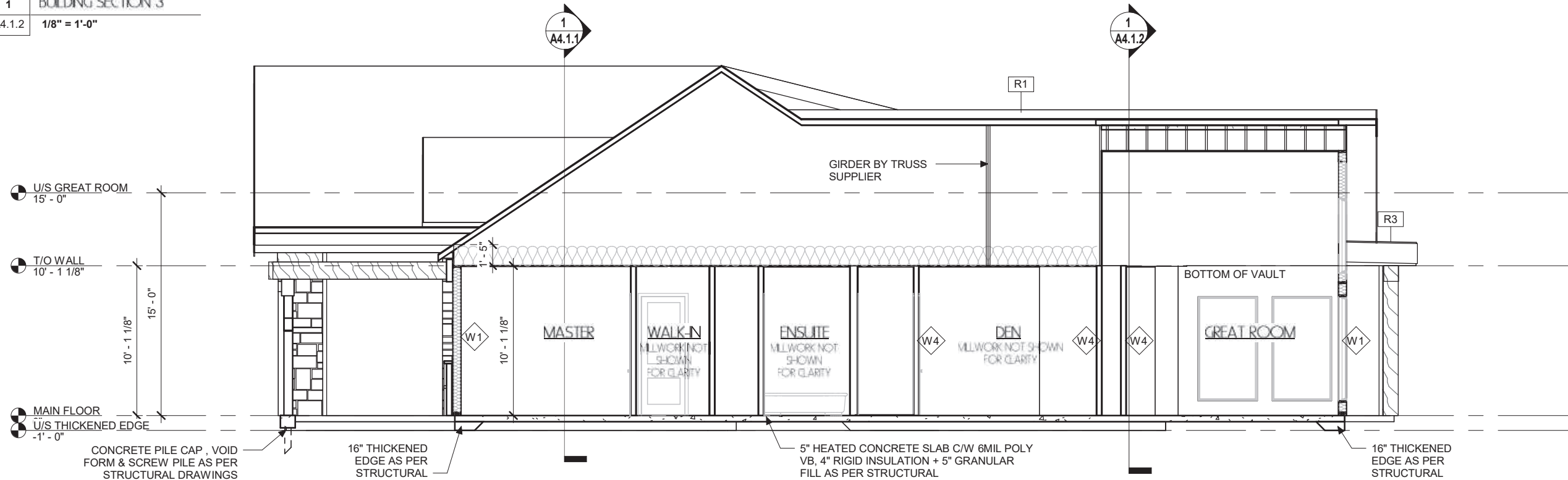
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A4.12



1 BUILDING SECTION 3

A4.1.2 1/8" = 1'-0"



2 BUILDING SECTION 4

A4.1.2 1/8" = 1'-0"

**W1**  
 FINISH AS PER EXTERIOR ELEVATIONS  
 BUILDING PAPER HOUSEWRAP  
 3/8" OSB SHEATHING OR EQUIVALENT  
 2"x6" WOOD STUDS @ 16" o.c. U.N.O.  
 P.T 2"x6" SPF BOTTOM PLATE  
 R20 BATT INSULATION  
 6 MIL POLY AVB  
 1/2" GYPSUM BOARD

**W3**  
 1/2" GYPSUM BOARD  
 3/8" OSB SHEATHING OR EQUIVALENT  
 2"x6" WOOD STUDS @ 16" o.c. U.N.O.  
 R20 BATT INSULATION  
 6 MIL POLY AVB  
 1/2" GYPSUM BOARD

**W5**  
 1/2" GYPSUM BOARD  
 2"x6" WOOD STUDS @ 16" o.c. U.N.O.  
 1/2" GYPSUM BOARD

**R1**  
 STANDING SEAM METAL ROOF PANELING  
 BUILDING PAPER w/ 36" EAVE PROTECTION  
 7/16" OSB ROOF SHEATHING w/ H-CLIPS  
 ENGINEERED ROOF TRUSSEES @ 24" o.c.  
 R50 BLOWN-IN FIBREGLASS INSULATION  
 6 MIL POLY AVB  
 1/2" CEILING GYPSUM BOARD

**R2**  
 STANDING SEAM METAL ROOF PANELING  
 BUILDING PAPER w/ 36" EAVE PROTECTION  
 7/16" OSB ROOF SHEATHING w/ H-CLIPS  
 20" ENGINEERED PARALLEL CHORD TRUSSES @ 24" o.c. (ASSUMED)  
 R50 SPRAY APPLIED INSULATION  
 6 MIL POLY AVB  
 1/2" CEILING GYPSUM BOARD

**W2**  
 FINISH AS PER EXTERIOR ELEVATIONS  
 BUILDING PAPER HOUSEWRAP  
 3/8" OSB SHEATHING OR EQUIVALENT  
 PT 2"x6" WOOD STUDS @ 16" o.c. U.N.O.  
 7/16" OSB SHEATHING  
 BUILDING PAPER HOUSEWRAP  
 FINISH AS PER EXTERIOR ELEVATIONS

**W4**  
 1/2" GYPSUM BOARD  
 2"x4" WOOD STUDS @ 16" o.c. U.N.O.  
 1/2" GYPSUM BOARD

**W6**  
 2"x4" WOOD STUDS @ 16" o.c. U.N.O.  
 1/2" GYPSUM BOARD

**R3**  
 EPDM ROOF MEMBRANE SYSTEM or EQUIVALENT  
 3/4" OSB ROOF SHEATHING w/ H-CLIPS  
 ENGINEERED JOISTS  
 (11 7/8" ASSUMED)





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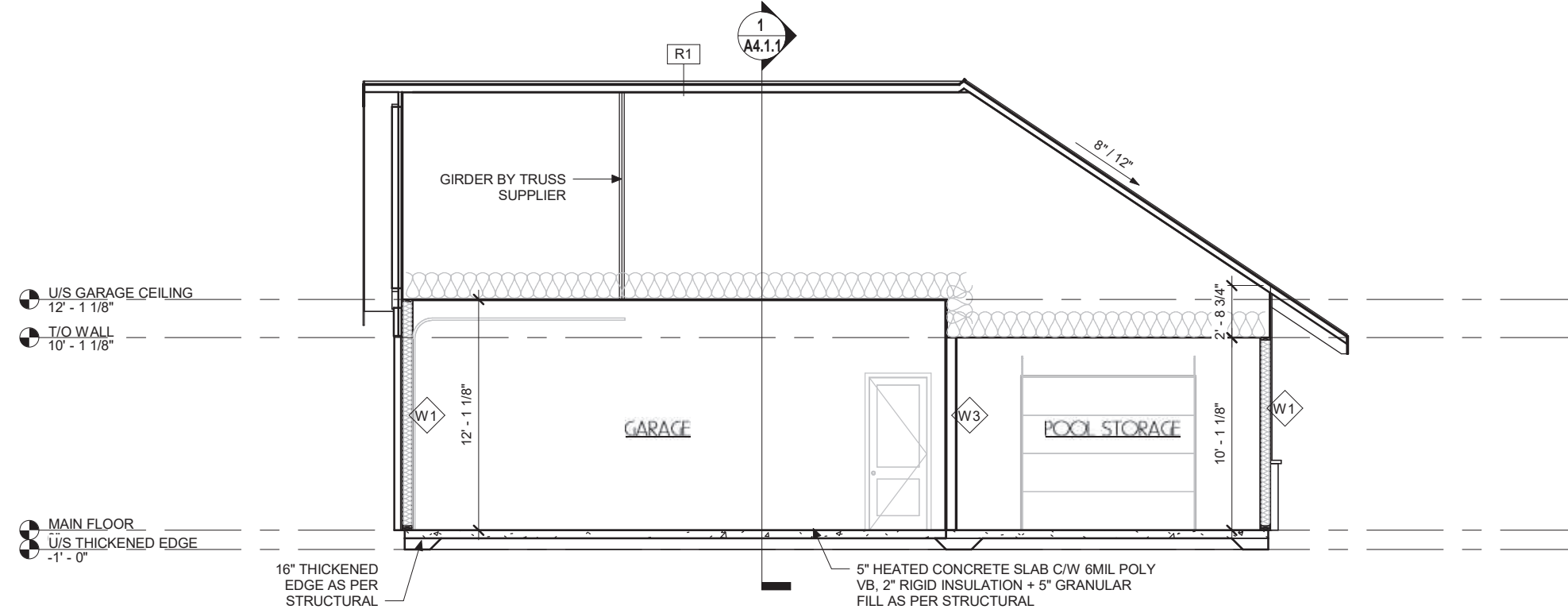
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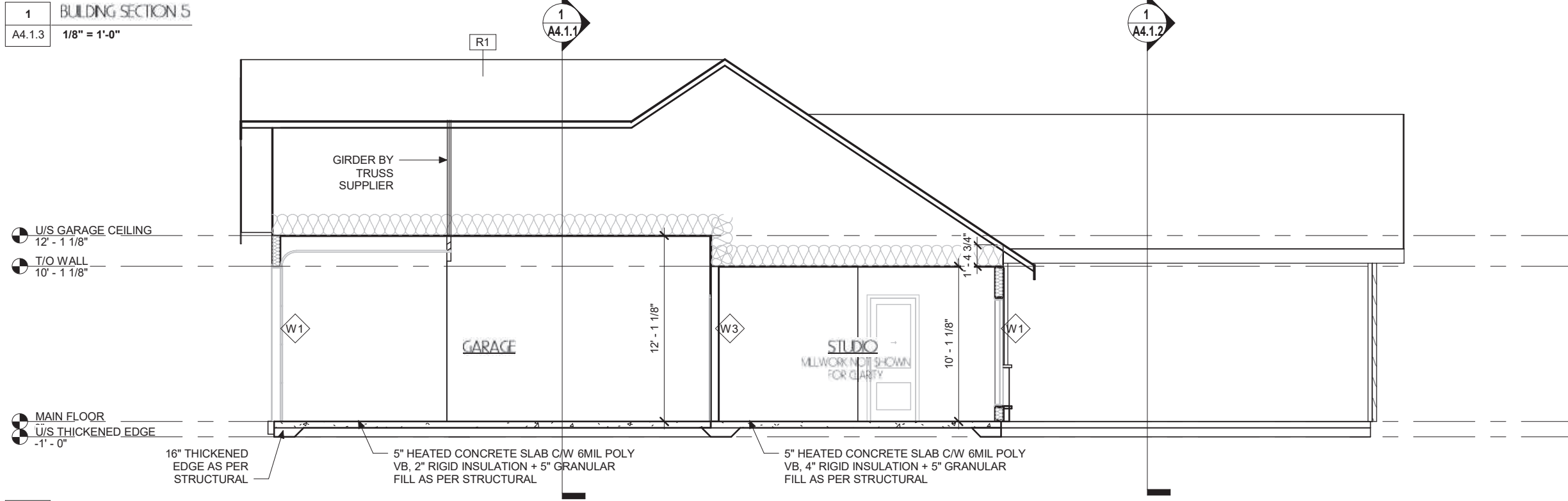
1269 GRASSWOOD RD  
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 RM OF CORMAN PARK

ARCHITECTURAL  
 BUILDING SECTIONS

21-010	A4.13
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**1 BUILDING SECTION 5**  
 A4.1.3 1/8" = 1'-0"



**2 BUILDING SECTION 6**  
 A4.1.3 1/8" = 1'-0"

**W1**  
 FINISH AS PER EXTERIOR ELEVATIONS  
 BUILDING PAPER HOUSEWRAP  
 3/8" OSB SHEATHING OR EQUIVALENT  
 2"x6" WOOD STUDS @ 16" o.c. U.N.O.  
 P.T 2"x6" SPF BOTTOM PLATE  
 R20 BATT INSULATION  
 6 MIL POLY AVB  
 1/2" GYPSUM BOARD

**W2**  
 FINISH AS PER EXTERIOR ELEVATIONS  
 BUILDING PAPER HOUSEWRAP  
 3/8" OSB SHEATHING OR EQUIVALENT  
 PT 2"x6" WOOD STUDS @ 16" o.c. U.N.O.  
 7/16" OSB SHEATHING  
 BUILDING PAPER HOUSEWRAP  
 FINISH AS PER EXTERIOR ELEVATIONS

**W3**  
 1/2" GYPSUM BOARD  
 3/8" OSB SHEATHING OR EQUIVALENT  
 2"x6" WOOD STUDS @ 16" o.c. U.N.O.  
 R20 BATT INSULATION  
 6 MIL POLY AVB  
 1/2" GYPSUM BOARD

**W4**  
 1/2" GYPSUM BOARD  
 2"x4" WOOD STUDS @ 16" o.c. U.N.O.  
 1/2" GYPSUM BOARD

**W5**  
 1/2" GYPSUM BOARD  
 2"x6" WOOD STUDS @ 16" o.c. U.N.O.  
 1/2" GYPSUM BOARD

**W6**  
 2"x4" WOOD STUDS @ 16" o.c. U.N.O.  
 1/2" GYPSUM BOARD

**R1**  
 STANDING SEAM METAL ROOF PANELING  
 BUILDING PAPER w/ 36" EAVE PROTECTION  
 7/16" OSB ROOF SHEATHING w/ H-CLIPS  
 ENGINEERED ROOF TRUSSEES @ 24" o.c.  
 R50 BLOWN-IN FIBREGLASS INSULATION  
 6 MIL POLY AVB  
 1/2" CEILING GYPSUM BOARD

**R2**  
 STANDING SEAM METAL ROOF PANELING  
 BUILDING PAPER w/ 36" EAVE PROTECTION  
 7/16" OSB ROOF SHEATHING w/ H-CLIPS  
 20" ENGINEERED PARALLEL CHORD TRUSSES @ 24" o.c. (ASSUMED)  
 R50 SPRAY APPLIED INSULATION  
 6 MIL POLY AVB  
 1/2" CEILING GYPSUM BOARD

**R3**  
 EPDM ROOF MEMBRANE SYSTEM or EQUIVALENT  
 3/4" OSB ROOF SHEATHING w/ H-CLIPS  
 ENGINEERED JOISTS  
 (11 7/8" ASSUMED)



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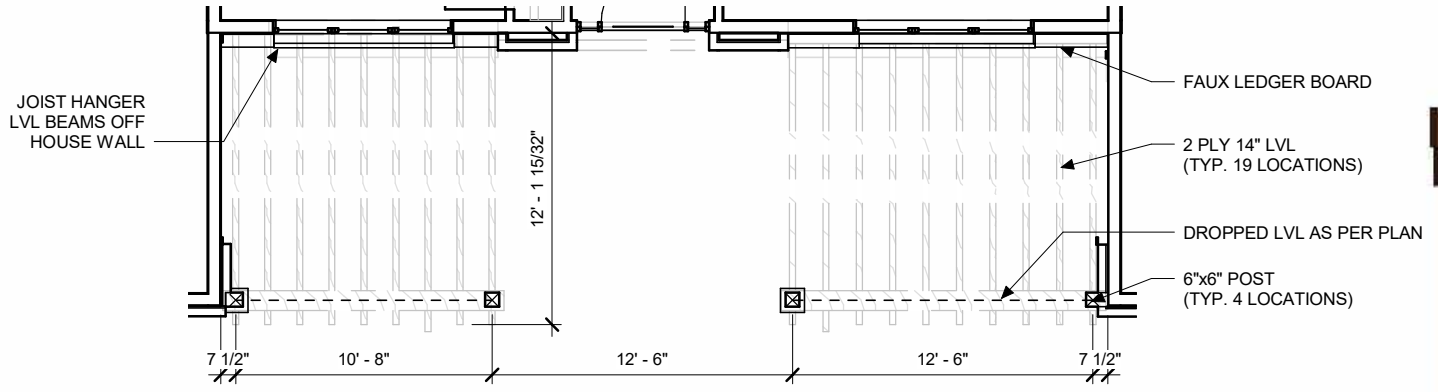
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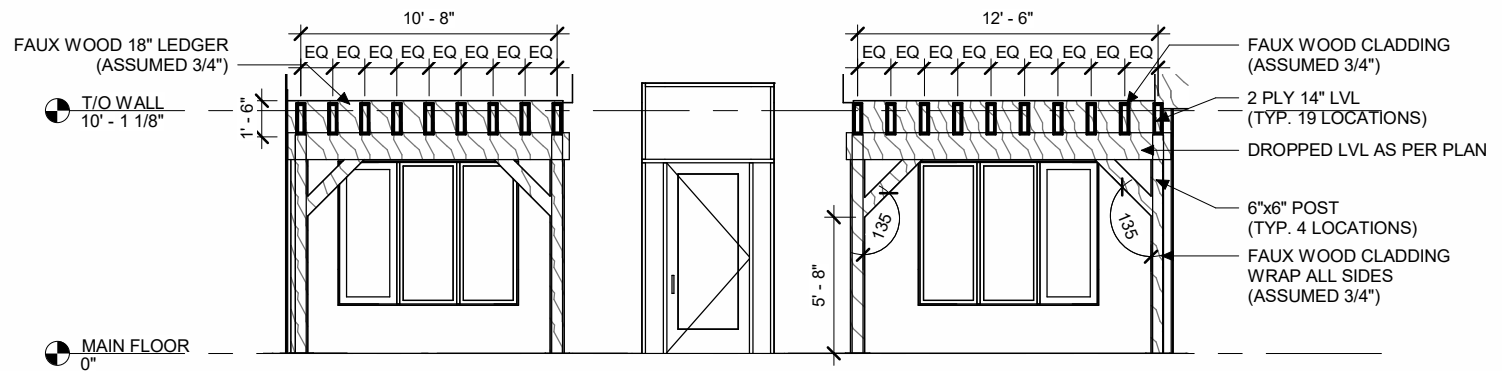
1269 GRASSWOOD RD  
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 RM OF CORMAN PARK

ARCHITECTURAL  
 DETAILS  
 PERGOLA

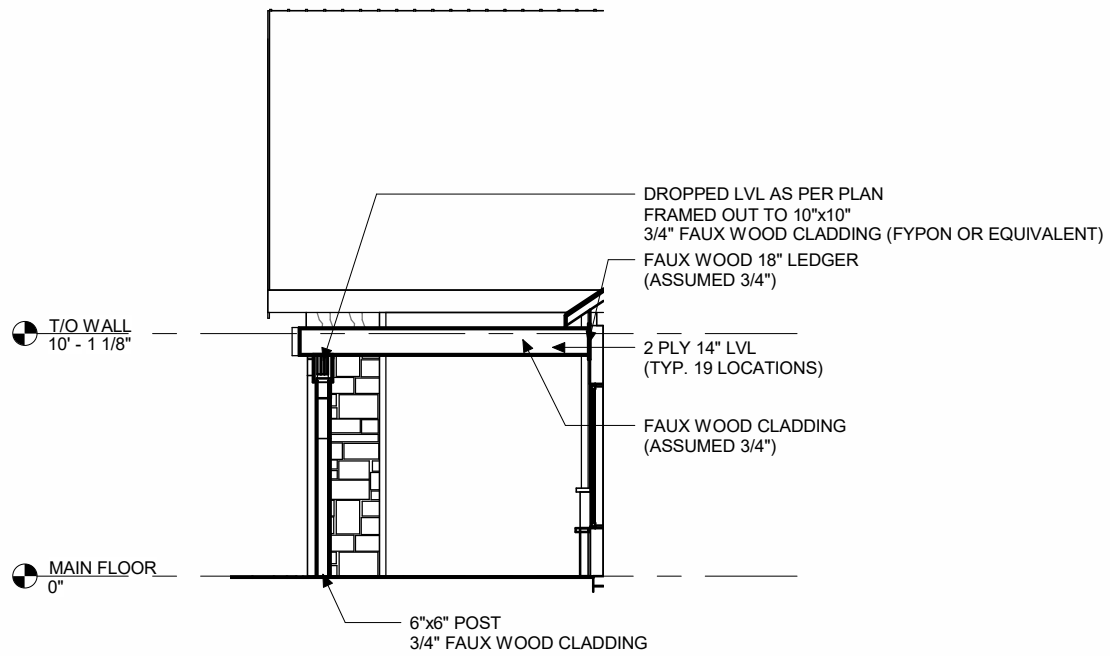
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2021-08-27 135:42 AM	



**1** PERGOLA PLAN  
 A6.7.1 1/8" = 1'-0"



**2** PERGOLA ELEVATION  
 A6.7.1 1/8" = 1'-0"



**3** PERGOLA SECTION  
 A6.7.1 1/8" = 1'-0"



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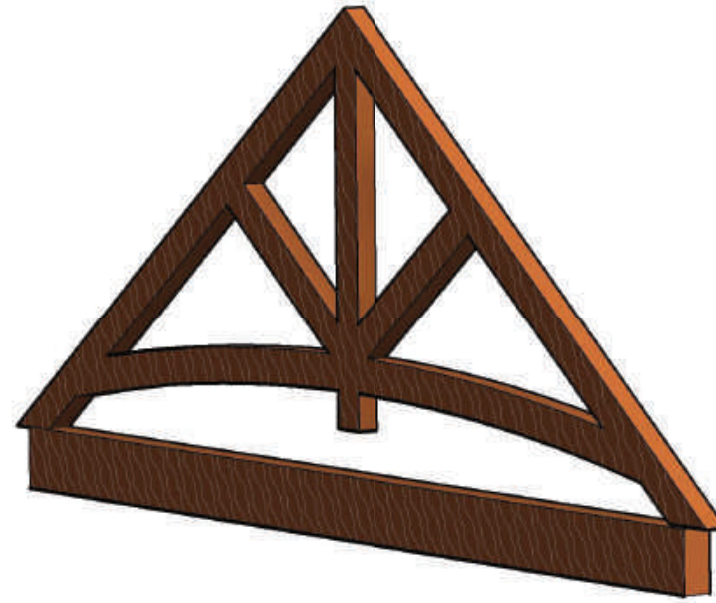
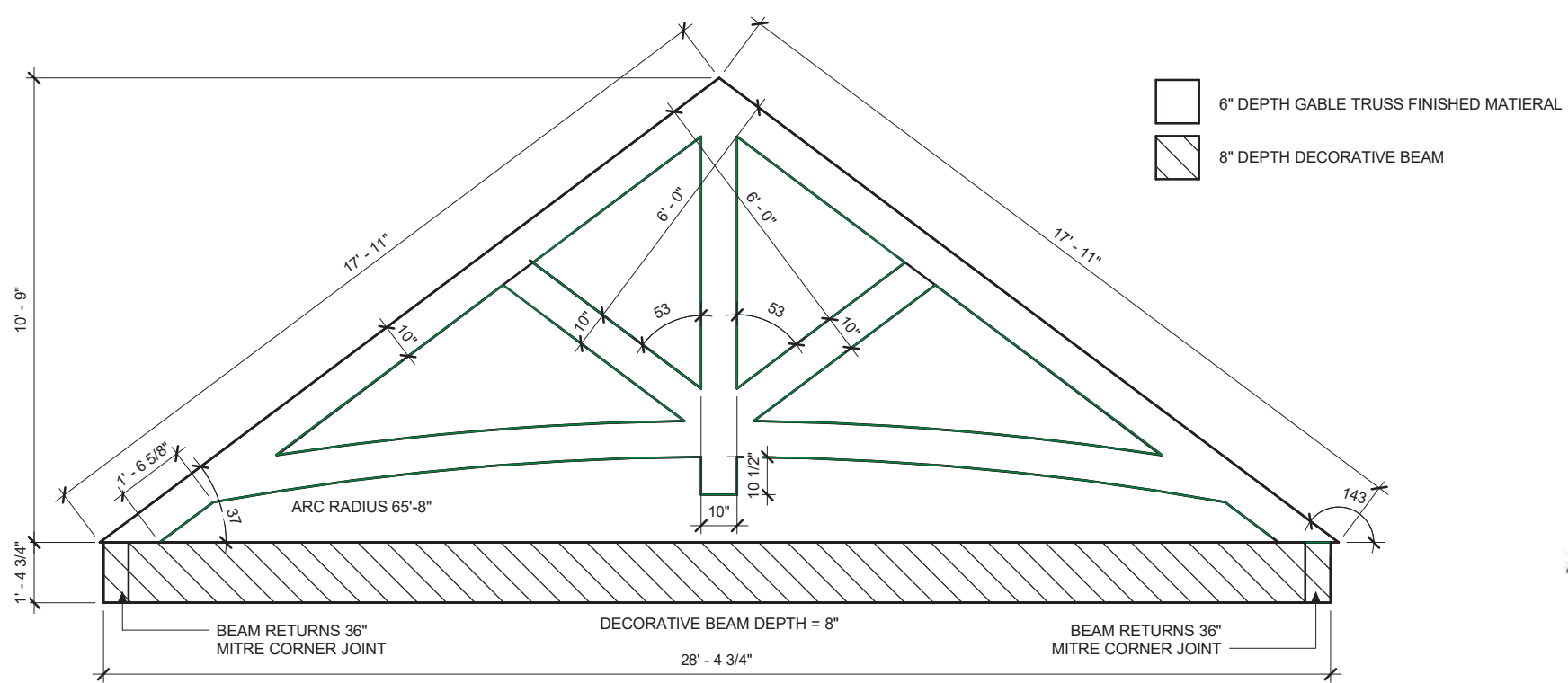
1269 GRASSWOOD RD  
 GRASSWOOD, SK  
 RM OF CORMAN PARK

ARCHITECTURAL  
 DETAILS  
 WOOD ACCENTS

21-010

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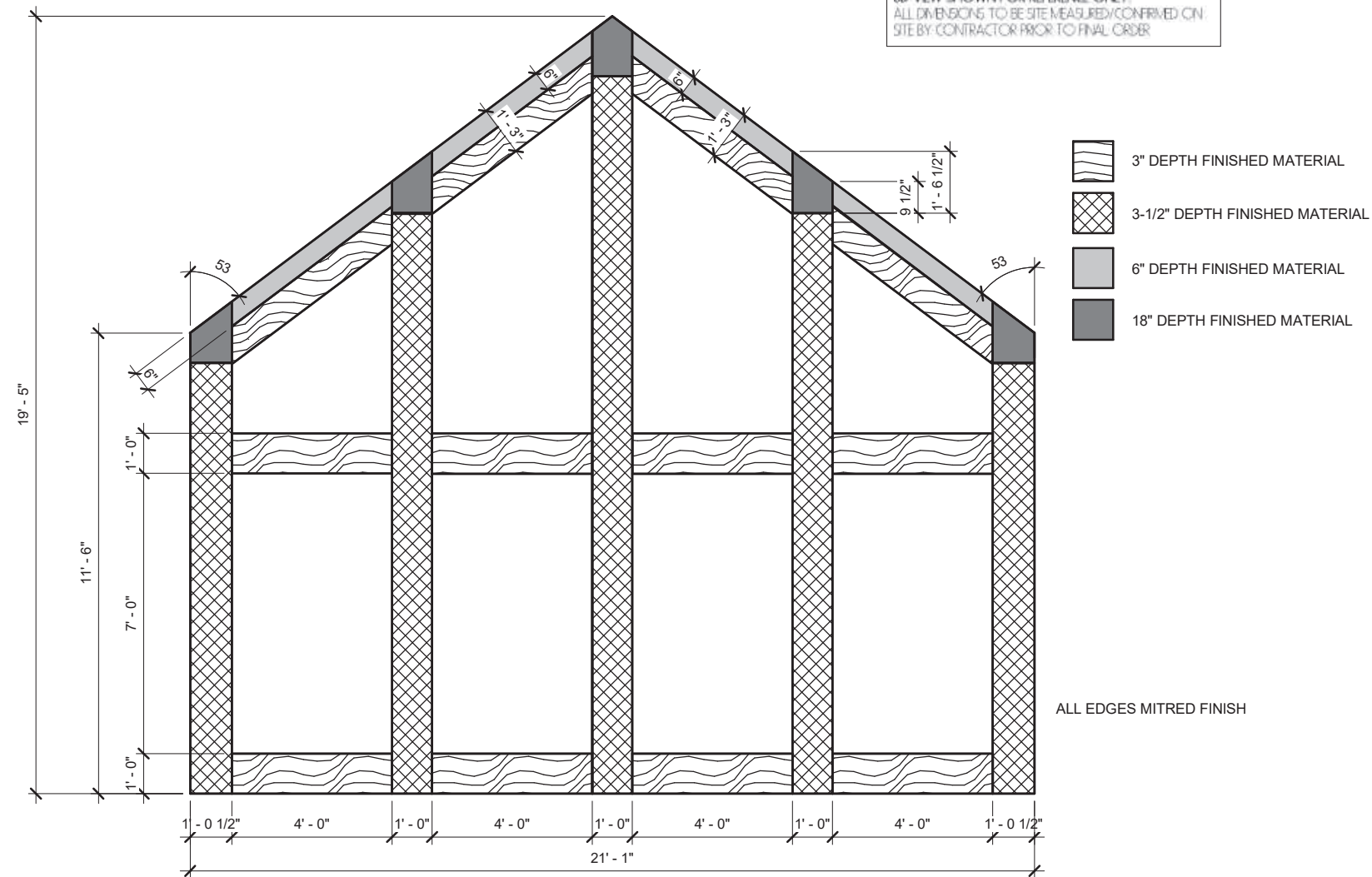
A6.7.2



1 GARAGE DECORATIVE FAUX TRUSS

A6.7.2 1/4" = 1'-0"

3D VIEW SHOWN FOR REFERENCE ONLY.  
 ALL DIMENSIONS TO BE SITE MEASURED/CONFIRMED ON SITE BY CONTRACTOR PRIOR TO FINAL ORDER.

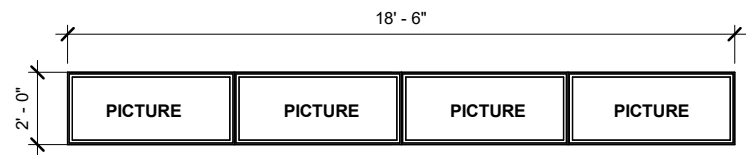


2 GREAT ROOM WOOD CLADDING

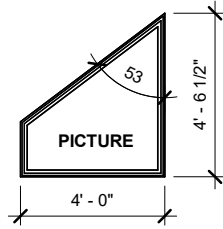
A6.7.2 1/4" = 1'-0"



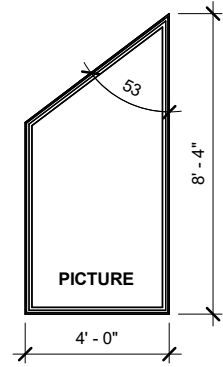




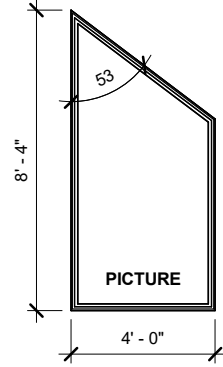
**WINDOW "W01"**  
DRYWALL RETURN (DUE TO OVERSIZED JAMB DEPTH)



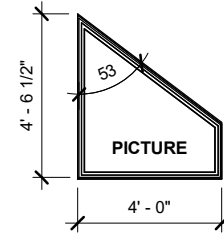
**WINDOW "W02"**



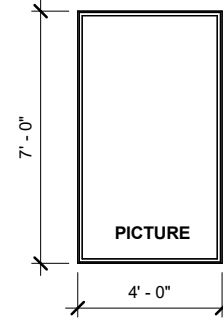
**WINDOW "W03"**



**WINDOW "W04"**

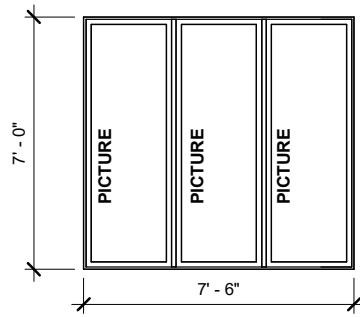


**WINDOW "W05"**

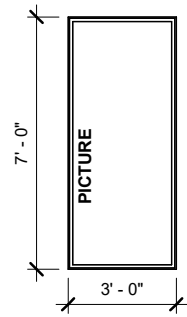


**WINDOW "W06"**

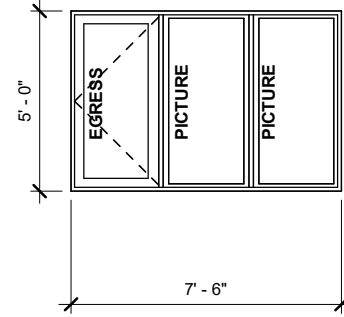
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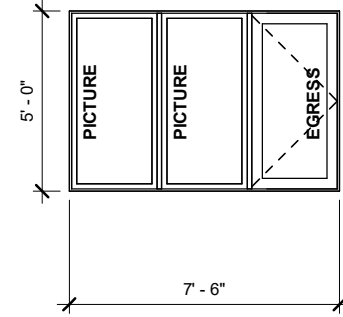
**WINDOW "W07"**



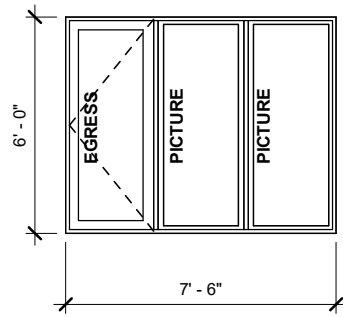
**WINDOW "W08"**



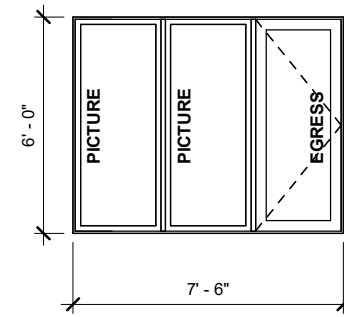
**WINDOW "W09L"**



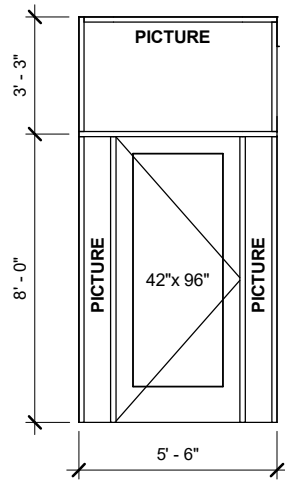
**WINDOW "W09R"**



**WINDOW "W10L"**



**WINDOW "W10R"**



**FRONT DOOR SYSTEM "FD1"**

- WINDOW NOTES**
1. ALL GLAZING SHALL BE TRIPLE PANE LOW-E
  2. ENSURE ALL UNITS MEET NBC 2015 SECTION 936 REQUIREMENTS
  3. ENSURE ALL UNITS MARKED EGRESS MEET NBC 2015 REQUIREMENTS
  4. CONFIRM HARDWARE COLOUR
  5. CONFIRM FRAME COLOUR (INTERIOR & EXTERIOR)
  6. DIMENSIONS SHOWN ARE FRAME SIZES. CONFIRM ROHS AND FRAME AND MULLION SIZES WITH MANUFACTURER



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PRIVATE RESIDENCE

1269 GRASSWOOD RD  
GRASSWOOD, SK  
RM OF CORMAN PARK

ARCHITECTURAL  
SCHEDULES  
WINDOWS

2100

2021-08-27  
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A7.11



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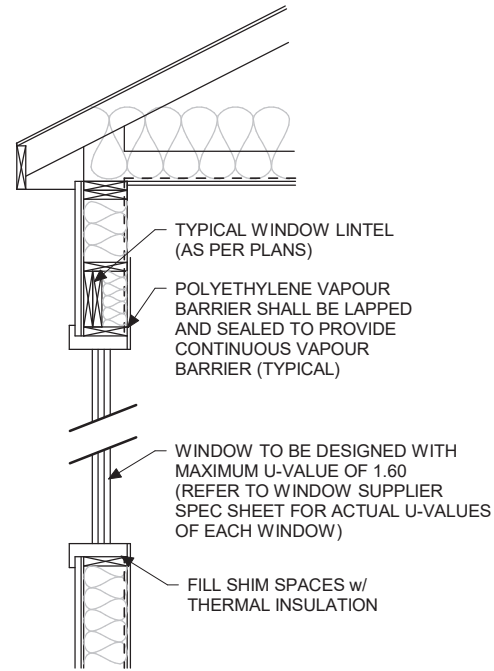
1269 GRASSWOOD RD  
 GRASSWOOD, SK  
 RM OF CORMAN PARK

ARCHITECTURAL  
 ENERGY CODE  
 DETAILS

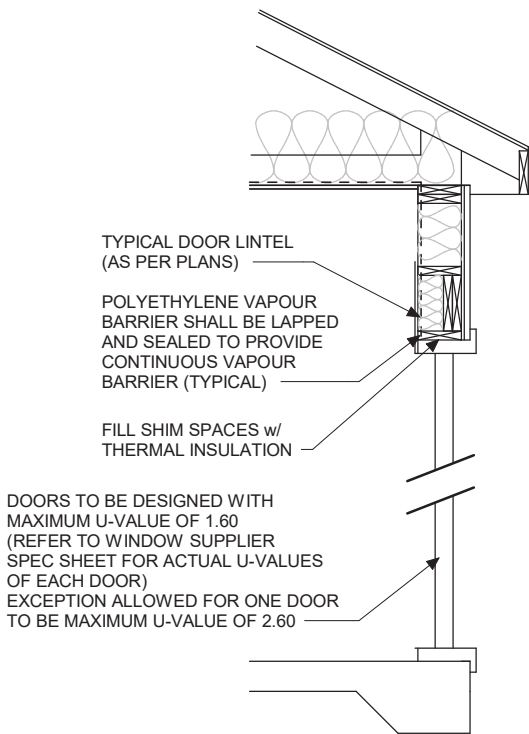
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2021-08-26  
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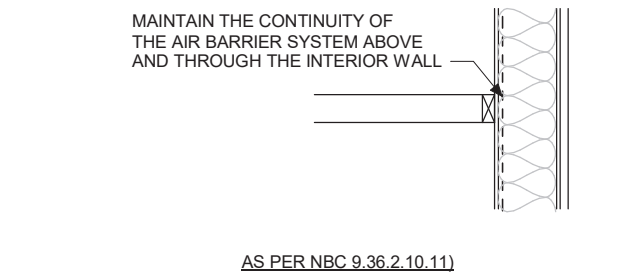
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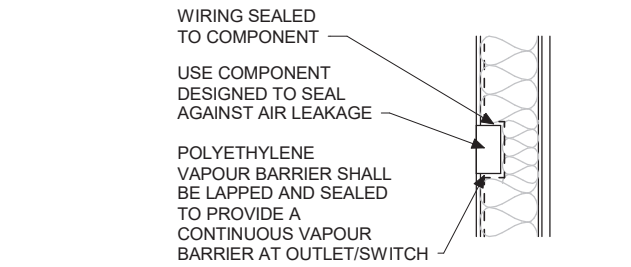
1 TYPICAL WINDOW AVB DETAIL  
 NTS



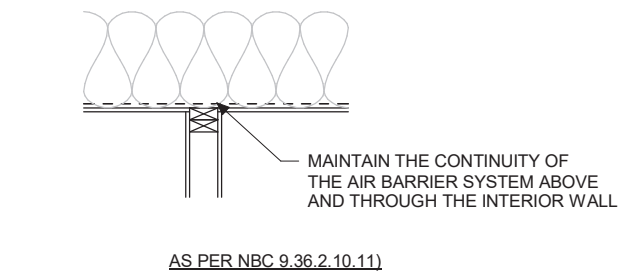
2 TYPICAL DOOR AVB DETAIL  
 NTS



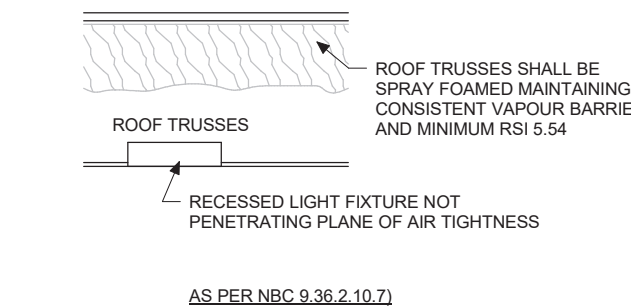
3 INTERIOR TO EXTERIOR PARTITION - PLAN  
 NTS



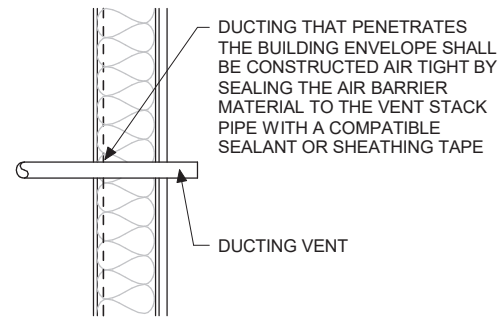
4 TYPICAL OUTLET/SWITCH DETAIL  
 NTS



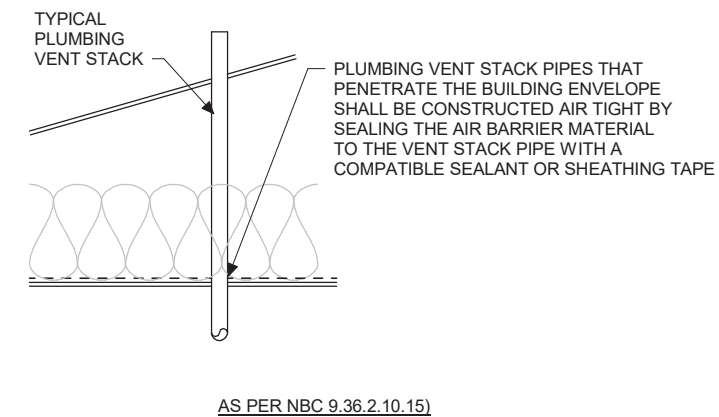
5 INTERIOR PARTITION TO CEILING DETAIL  
 NTS



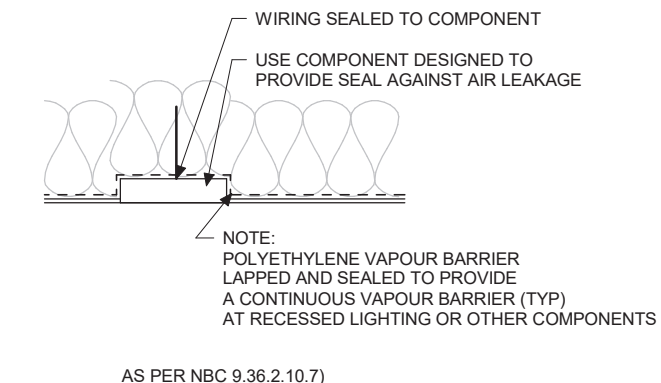
6 RECESSED LIGHTING DETAIL  
 NTS



7 TYPICAL WALL DUCTING DETAIL  
 NTS



8 TYPICAL VENT STACK PIPE DETAIL  
 NTS



9 RECESSED LIGHTING DETAIL  
 NTS





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1269 GRASSWOOD RD  
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 RM OF CORMAN PARK

ARCHITECTURAL  
 3D VIEWS  
 EXTERIOR

21-010	A11.1
2021-08-26 2:31:30 PM	





DESIGN STUDIO

KRISTI KATSRIS

Saskatoon, Saskatchewan

306.261.9235

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DATE	DESCRIPTION
2021-08-16	ISSUED FOR FINAL REVIEW
2021-18-24	REVISED FOR ENGINEERING
2021-08-26	ISSUED FOR PERMIT

CUSTOM ACREAGE  
PRIVATE RESIDENCE

1269 GRASSWOOD RD  
GRASSWOOD, SK  
RM OF CORMAN PARK

STRUCTURAL  
NOTES

2:00

2021-08-26  
2:31 PM

S.O.O.

**CONCRETE NOTE**

ALL CAST-IN-PLACE CONCRETE WORK IN ACCORDANCE WITH CSA-A231

**REINFORCING NOTES**

TO CSA STANDARD G-30 B GRADE 400 PLAIN FINISH FOR ALL BARS UNLESS NOTED OTHERWISE. MINIMUM SPACE FOR 10M AND 5M BARS TO BE 100mm

PERFORM CONCRETE REINFORCING WORK IN ACCORDANCE WITH CAN/CSA-A233 DESIGN OF CONCRETE STRUCTURES

**LATERAL SUPPORT**

FOUNDATION WALLS HAVE BEEN DESIGNED ASSUMING CONTINUOUS SUPPORT IS PROVIDED AT THE TOP AND BOTTOM OF THE WALLS. CONTRACTOR AND SUPPLIER TO ENSURE THAT THE FLOOR STRUCTURE PROVIDES ADEQUATE LATERAL SUPPORT.

**STEEL SCREW PILE SPECIFICATIONS**

-SCREW PILE DESIGN TO BE COMPLETED & SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE PROVINCE OF SASKATCHEWAN TO RESIST THE UNFACTORED LOADS NOTED ON THE DRAWING BASED ON BEARING ON THE HELIX AND SKIN FRICTION ON THE SHAFT WHERE APPROPRIATE DESIGN BASED ON TORQUE REQUIRED TO INSTALL IS NOT ACCEPTABLE  
-DESIGN TO ENSURE HELIX IS EMBEDDED AT AN ADEQUATE DEPTH TO PREVENT LIFT DUE TO FROST  
-REINFORCE WITH 2-5M X 4' LONG EMBEDDED IN CONCRETE FILLED SCREW PILE EXTEND TO TOP BARS OF GRADE BEAM (MAX 29')  
-SCREW PILE DESIGN TO BE SUBMITTED TO RBMPEL ENGINEERING PRIOR TO INSTALLATION

**STRUCTURAL NOTES**

- IT IS RECOMMENDED THAT THE OWNER OBTAIN A GEOTECHNICAL REPORT TO DETERMINE THE GROUNDWATER LEVEL AND VERIFY THE SOIL CONDITIONS + CAPACITIES THAT HAVE BEEN ASSUMED FOR THIS DESIGN. FAILURE TO COMPLY WITH THE GEOTECHNICAL REPORT IS THE SOLE RISK OF THE OWNER.
- PROVIDE ADEQUATE DISTANCE BETWEEN THE FLOOR SLAB AND ANY GROUND WATER LEVEL (MINIMUM 24") WHILE MAINTAINING ADEQUATE SOIL COVER.
- SLAB ON GRADE CONSTRUCTION WILL EXPERIENCE SEASONAL MOVEMENT. IF EXPANSIVE CLAY SOILS ARE PRESENT AT THE SITE, THE FOUNDATION MAY EXPERIENCE DIFFERENTIAL MOVEMENT AND POTENTIAL DAMAGE.

**FOUNDATION SPECIFICATIONS**

**CONCRETE FROST WALL**

6"x48" REINFORCED CONCRETE FROST WALL  
R/W 1- 10M @ 16" O.C. EACH WAY.  
1/2" EPS RIGID INSULATION ON EXTERIOR FACE OF GRADE BEAM  
DAMP PROOFING REQUIRED BOTH SIDES OF WALLS  
ALL WOOD TO COME IN CONTACT WITH CONCRETE MUST BE SEPARATED BY SILL GASKET OR WRAPPED IN 6MIL POLY  
CONCRETE PROPERTIES:  
25MPa TYPE HS CEMENT

**CONCRETE FROST WALL**

6"x48" REINFORCED CONCRETE FROST WALL  
R/W 1- 10M @ 16" O.C. EACH WAY.  
1/2" EPS RIGID INSULATION ON EXTERIOR FACE OF GRADE BEAM  
DAMP PROOFING REQUIRED BOTH SIDES OF WALLS  
ALL WOOD TO COME IN CONTACT WITH CONCRETE MUST BE SEPARATED BY SILL GASKET OR WRAPPED IN 6MIL POLY  
CONCRETE PROPERTIES:  
25MPa TYPE HS CEMENT

**CONCRETE FROST WALL**

24"x48" REINFORCED CONCRETE FROST WALL  
R/W 1- 10M @ 16" O.C. EACH WAY.  
1/2" EPS RIGID INSULATION ON EXTERIOR FACE OF GRADE BEAM  
DAMP PROOFING REQUIRED BOTH SIDES OF WALLS  
ALL WOOD TO COME IN CONTACT WITH CONCRETE MUST BE SEPARATED BY SILL GASKET OR WRAPPED IN 6MIL POLY  
CONCRETE PROPERTIES:  
25MPa TYPE HS CEMENT

**CONCRETE STRIP FOOTING**

16" X 8" CONCRETE STRIP FOOTING  
R/W 2-5M  
CONCRETE PROPERTIES:  
20MPa TYPE HS CEMENT  
FOOTING SHALL BEAR ON UNDISTURBED SOIL. ANY OVER EXCAVATION SHALL BE FILLED WITH CONCRETE. DO NOT CAST FOOTINGS ON FROZEN SOIL AND DO NOT ALLOW SOIL BELOW FOOTINGS TO FREEZE THEREAFTER.

**HOUSE THICKENED EDGE CONCRETE SLAB**

5" HEATED CONCRETE SLAB w/ IN-FLOOR HEAT  
R/W 15M @ 16" O.C. EACH WAY  
6MIL POLY VAPOUR BARRIER  
4" R6 EPS RIGID INSULATION BENEATH SLAB  
5" GRANULAR FILL  
\*SLAB THICKENED EDGE  
16" x 12" CONCRETE THICKENED EDGE  
R/W 2-5M BARS TOP + BOTTOM AND 1- 10M STIRRUP @ 16" O.C.  
FLEXIBLE SEALANT AS REQUIRED AT THE PERIMETER OF THE CONCRETE FLOOR AND AT ALL PENETRATIONS THROUGH THE CONCRETE FLOOR.  
CONCRETE PROPERTIES:  
32MPa TYPE 50 CEMENT

**PILE CAPS**

AS PER DETAIL ON S9-7.1  
CONCRETE PROPERTIES:  
25MPa TYPE HS CEMENT

**SUMP PITS**

MUST BE NO LESS THAN 2'-6" DEEP, NO LESS THAN 26 SQUARE FEET IN AREA & BE PROVIDED WITH AN AIR TIGHT AND CHILD RESISTANT COVER.  
ALSO HAVE AN AUTOMATIC PUMP CONNECTED TO SEWER DRAINAGE DITCH OR DRY WELL.

**GARAGE FOUNDATION SPECIFICATIONS**

**GARAGE THICKENED EDGE CONCRETE SLAB**

5" HEATED CONCRETE BASEMENT SLAB w/ IN-FLOOR HEAT  
R/W 15M @ 16" O.C. EACH WAY  
6MIL POLY VAPOUR BARRIER  
2" R6 EPS RIGID INSULATION BENEATH SLAB  
5" GRANULAR FILL  
\*SLAB THICKENED EDGE  
16" x 12" CONCRETE THICKENED EDGE  
R/W 2-5M BARS TOP + BOTTOM AND 1- 10M STIRRUP @ 16" O.C.  
CONCRETE PROPERTIES:  
32MPa TYPE D CEMENT  
SLOPE GARAGE MINIMUM 3% FOR POSITIVE DRAINAGE

**3 SEASON ROOM FOUNDATION SPECIFICATIONS**

**SCREENED DECK + BBO DECK CONCRETE SLAB**

5" CONCRETE BASEMENT SLAB  
R/W 15M @ 16" O.C. EACH WAY  
5" GRANULAR FILL  
CONCRETE PROPERTIES:  
32MPa TYPE D CEMENT  
SLOPE MINIMUM 3% FOR POSITIVE DRAINAGE

**CONCRETE GRADE BEAM**

6"x32" CONCRETE GRADE BEAM  
R/W 2-5M TOP + BOTTOM  
ATTACH GRADE BEAM TO HOUSE FROST WALL WITH 2-5M x 30" DOWELS TOP + BOTTOM. DRILL AND EPOXY DOWELS A MIN. OF 5" INTO FOUNDATION.  
6" DEGRADABLE CARBOARD VOID FORM BELOW SLAB  
INSULATION DO NOT PLACE POLY BELOW VOID FORM  
ALL WOOD TO COME IN CONTACT WITH CONCRETE MUST BE SEPARATED BY SILL GASKET OR WRAPPED IN 6MIL POLY  
CONCRETE PROPERTIES:  
25MPa TYPE HS CEMENT



FOR DESIGN OF FOUNDATION, STEEL BEAM, HSS COLUMN, AND TALL WALL STUDS ONLY



DESIGN STUDIO  
**KRISTI KATSRIS**  
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 306.261.9235

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2021-07-23	PRELIMINARY CONCEPT
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# CUSTOM ACREAGE PRIVATE RESIDENCE

1269 GRASSWOOD RD  
 GRASSWOOD, SK  
 RM OF CORMAN PARK

## STRUCTURAL FLOOR PLAN FOUNDATION

21-00

2021-08-26  
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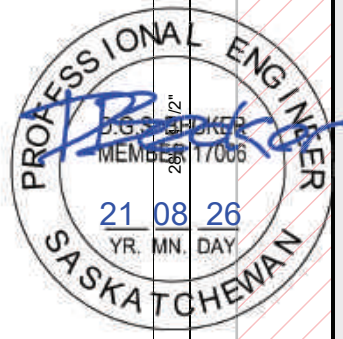
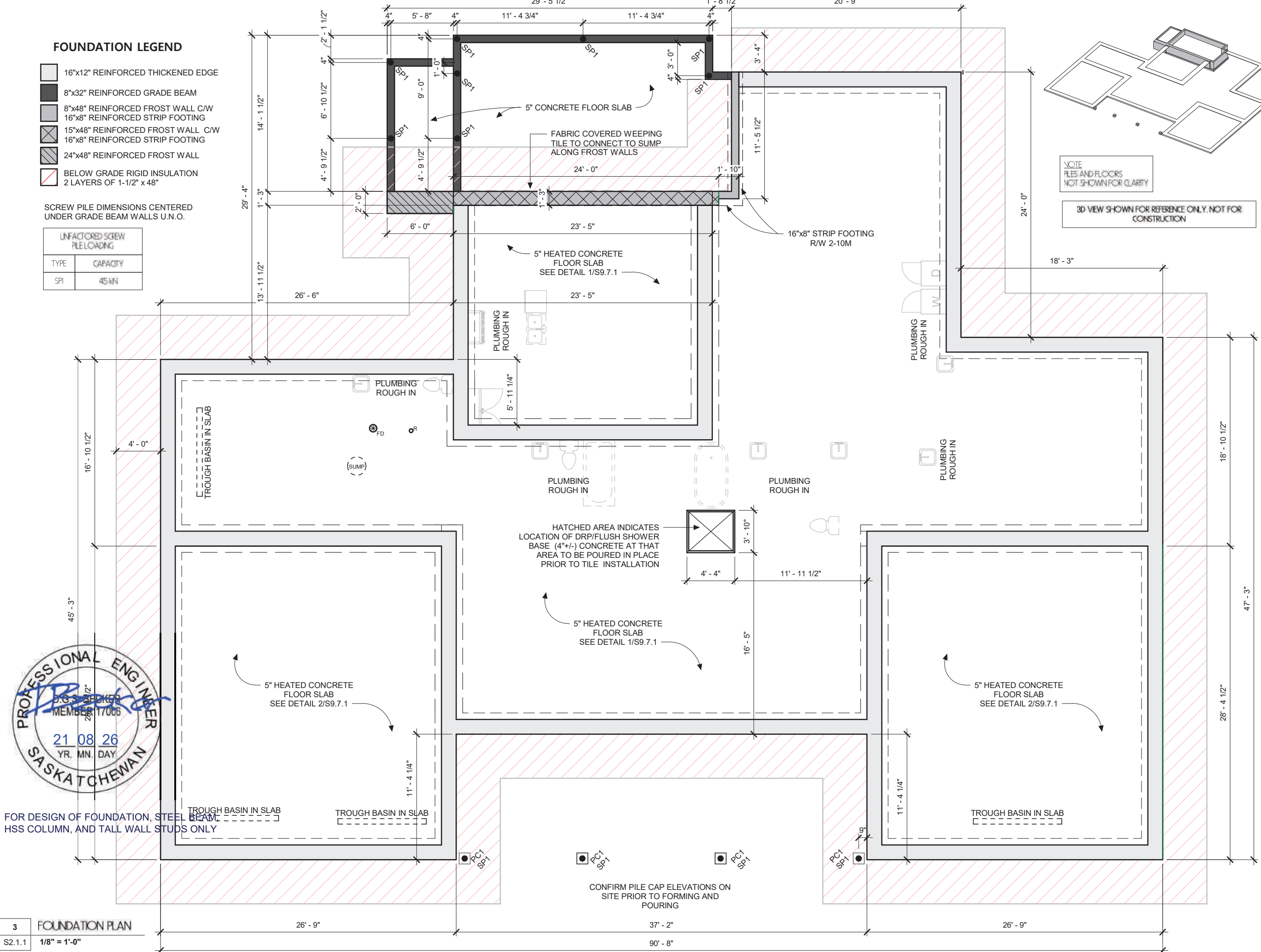
S2.11

### FOUNDATION LEGEND

- 16"x12" REINFORCED THICKENED EDGE
- 8"x32" REINFORCED GRADE BEAM
- 8"x48" REINFORCED FROST WALL C/W 16"x8" REINFORCED STRIP FOOTING
- 15"x48" REINFORCED FROST WALL C/W 16"x8" REINFORCED STRIP FOOTING
- 24"x48" REINFORCED FROST WALL
- BELOW GRADE RIGID INSULATION 2 LAYERS OF 1-1/2" x 48"

SCREW PILE DIMENSIONS CENTERED UNDER GRADE BEAM WALLS U.N.O.

UNFACTORED SCREW PILE LOADING	
TYPE	CAPACITY
SPI	45 kN



FOR DESIGN OF FOUNDATION, STEEL BEAM, HSS COLUMN, AND TALL WALL STUDS ONLY

CONFIRM PILE CAP ELEVATIONS ON SITE PRIOR TO FORMING AND POURING





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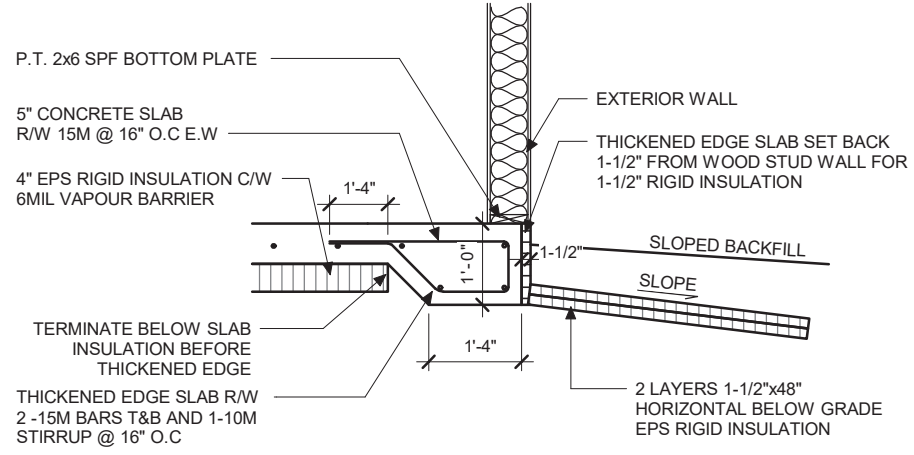
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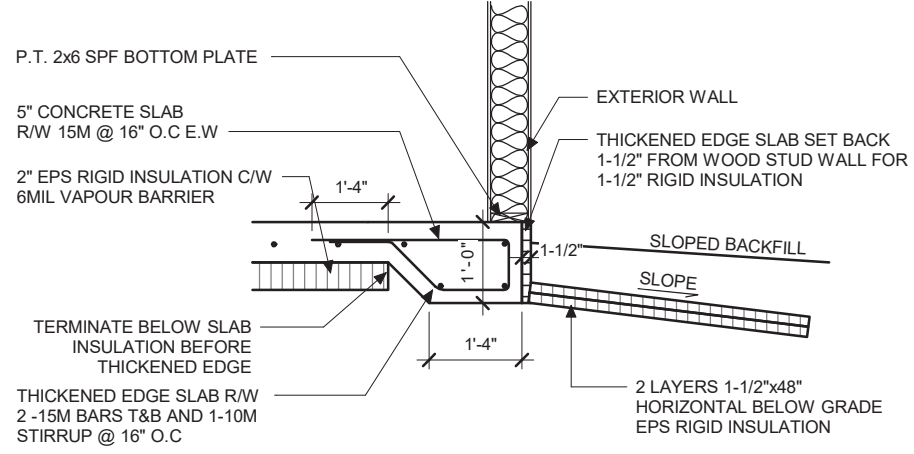
1269 GRASSWOOD RD  
 GRASSWOOD, SK  
 RM OF CORMAN PARK

STRUCTURAL  
 DETAILS

21-00	S9.7.1
2021-08-26 2:31:33 PM	

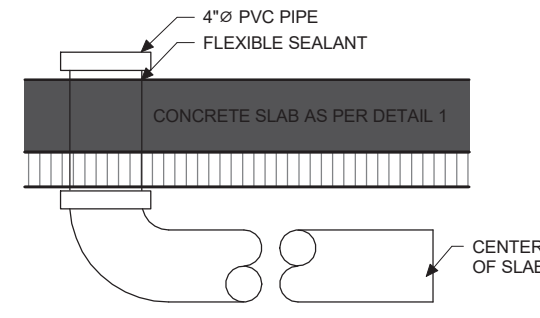


1 HOUSE THICKENED EDGE SLAB DETAIL  
 NTS

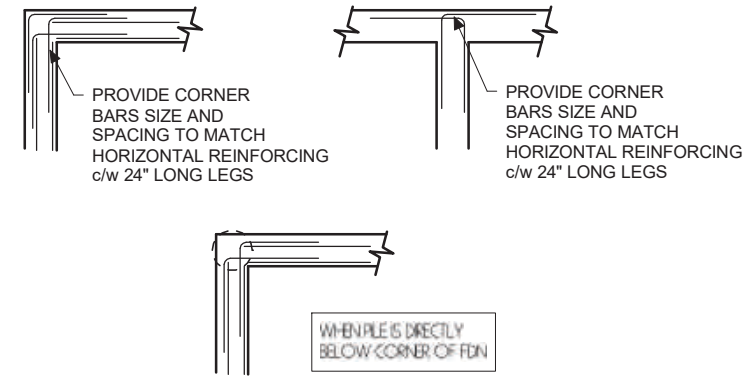


2 GARAGE THICKENED EDGE SLAB DETAIL  
 S9.7.1 1/8" = 1'-0"

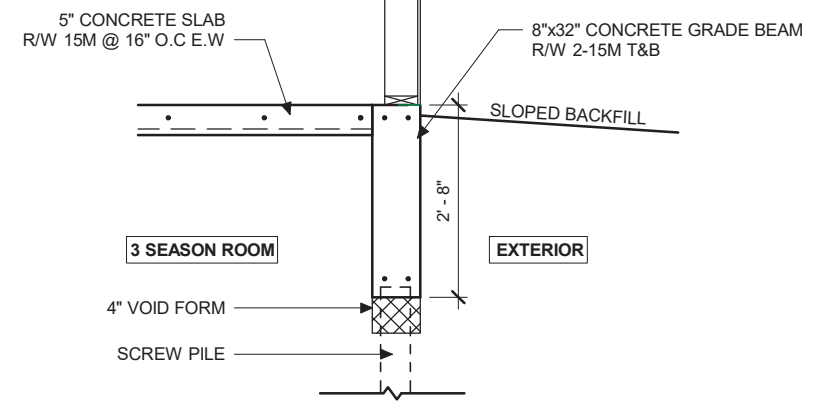
INSTALL RADON ROUGH-IN PIPE c/w SEALED CAP FOR FUTURE DEPRESSURIZATION SYSTEM. SEE PLAN FOR VENT LOCATION AND RUN OPEN END TO CENTER OF BUILDING FOOTPRINT  
 INSTALL EXTRACTION SECTION OF 4" Ø PVC PIPE FROM UNDERSIDE OF BASEMENT CEILING LINE IN THE ATTIC. PIPE SHALL BE LABELED AND CAPPED BOTH ENDS



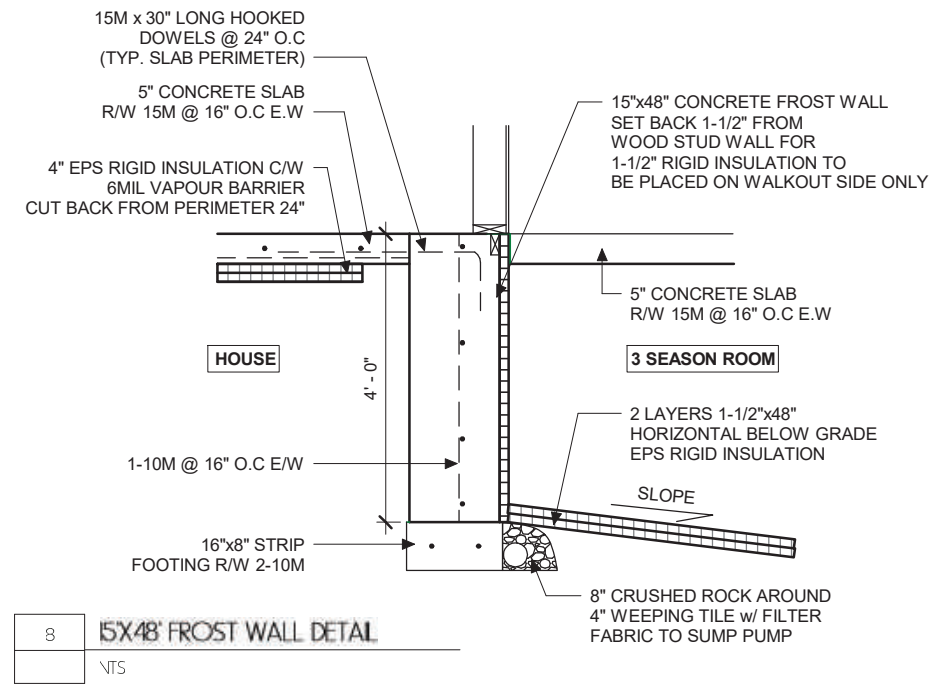
4 SLAB DEPRESSURIZATION DETAIL  
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5 FDN WALL CORNER REINFORCING  
 NTS



7 3 SEASON ROOM GRADE BEAM DETAIL  
 NTS

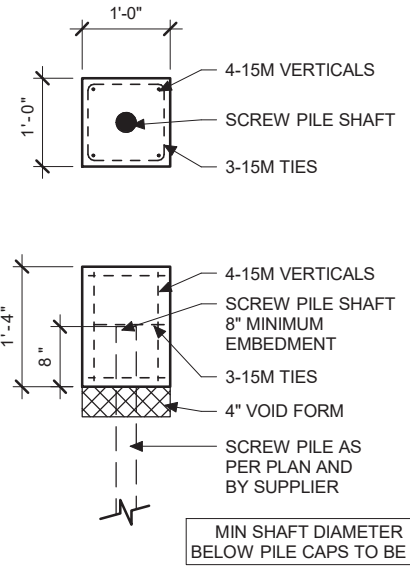


8 15X48' FROST WALL DETAIL  
 NTS

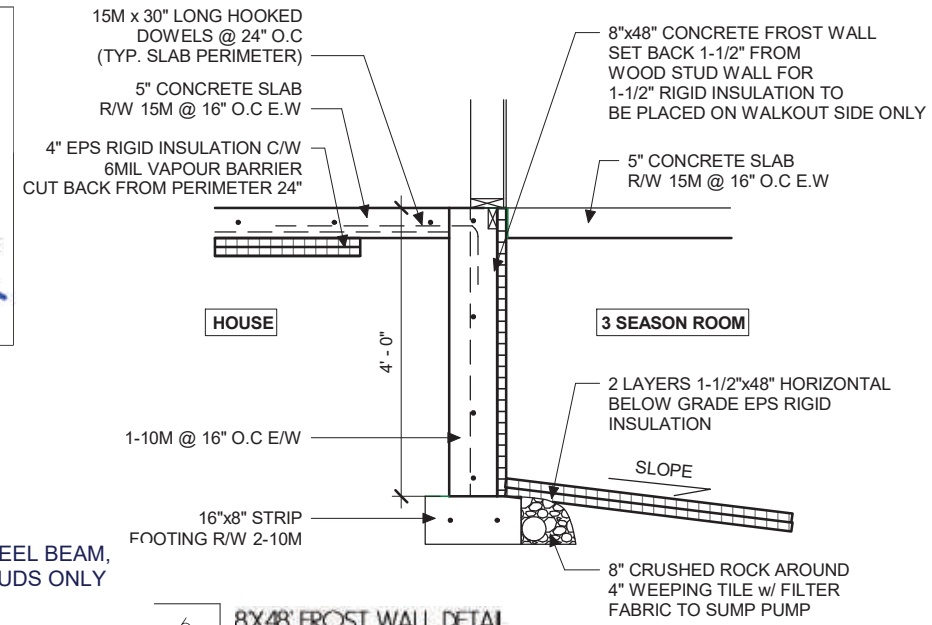
**STEEL SCREW PILE SPECIFICATIONS**  
 -SCREW PILE DESIGN TO BE COMPLETED & SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE PROVINCE OF SASKATCHEWAN TO RESIST THE UNFACTORED LOADS NOTED ON THE DRAWING BASED ON BEARING ON THE HELIX AND SKIN FRICTION ON THE SHAFT WHERE APPROPRIATE DESIGN BASED ON TORQUE REQUIRED TO INSTALL IS NOT ACCEPTABLE  
 -DESIGN TO ENSURE PILE IS SET AT AN ADEQUATE DEPTH TO PREVENT PILE TO EXCEED  
 -REINFORCE WITH 4-15M VERTICALS, 4-15M HORIZONTALS, 3-15M TIES, AND 4-15M LONG IMBEDDED CONCRETE FILLED SCREW PILE TOP BARS ON GRADE BEAM (MAX 25' MAX DEFLECT)  
 -SCREW PILE TO BE SET BY A REGISTERED PROFESSIONAL ENGINEER (MEMBER 17006)



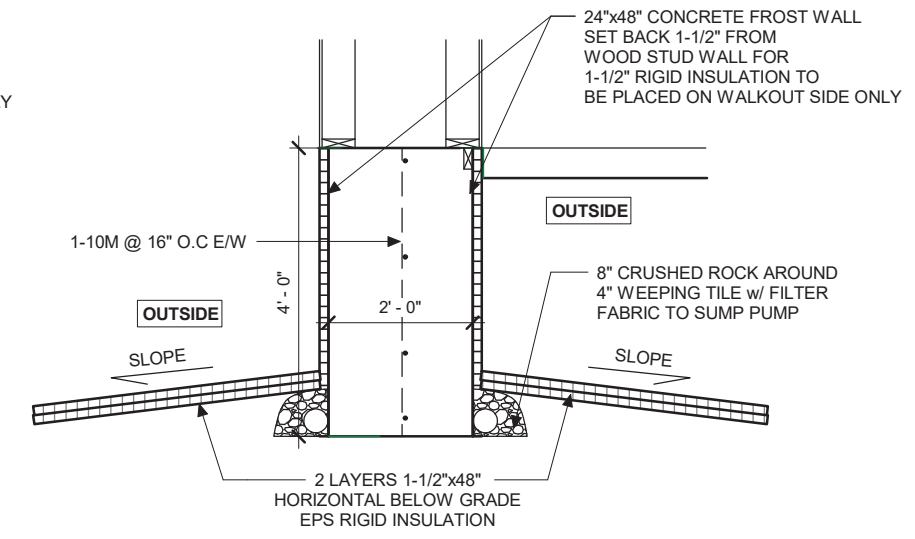
FOR DESIGN OF FOUNDATION, STEEL BEAM, HSS COLUMN, AND TALL WALL STUDS ONLY



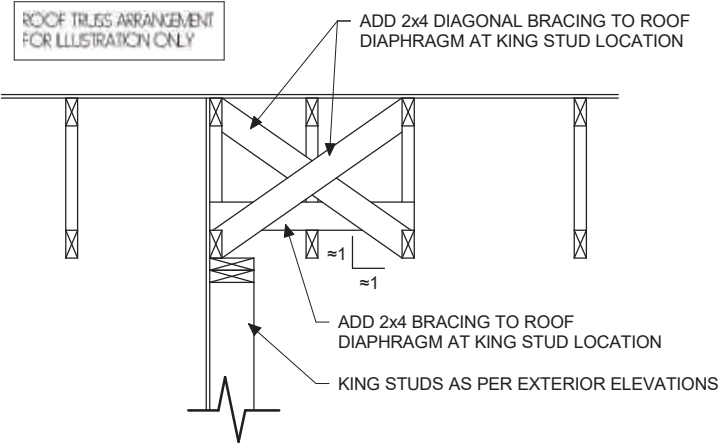
3 PCI - PILE CAP DETAIL  
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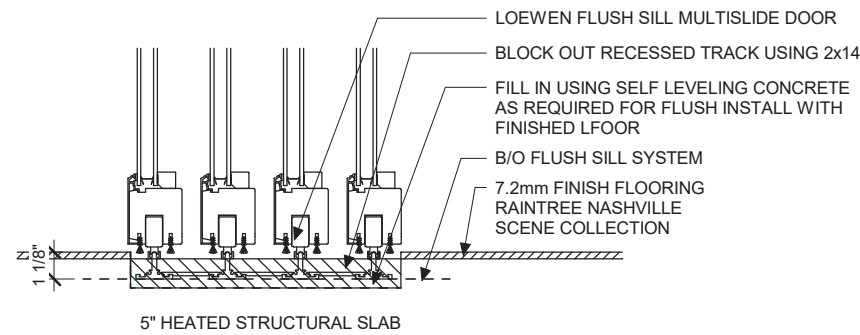
6 8X48' FROST WALL DETAIL  
 NTS



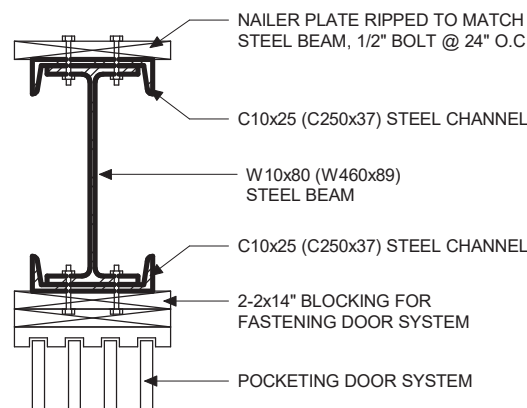
9 24X48' FROST WALL DETAIL  
 NTS



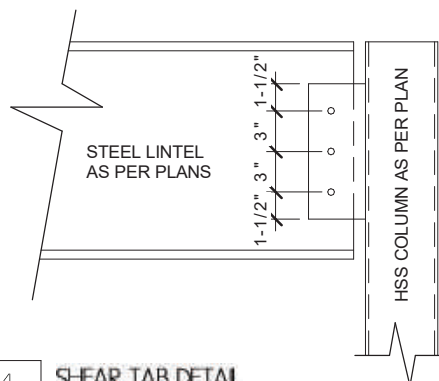
1 DIAGONAL BRACE DETAIL  
NTS



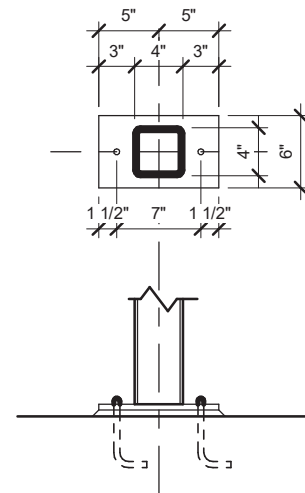
2 POCKET DOOR FLUSH SILL DETAIL  
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3 STEEL BEAM  
NTS

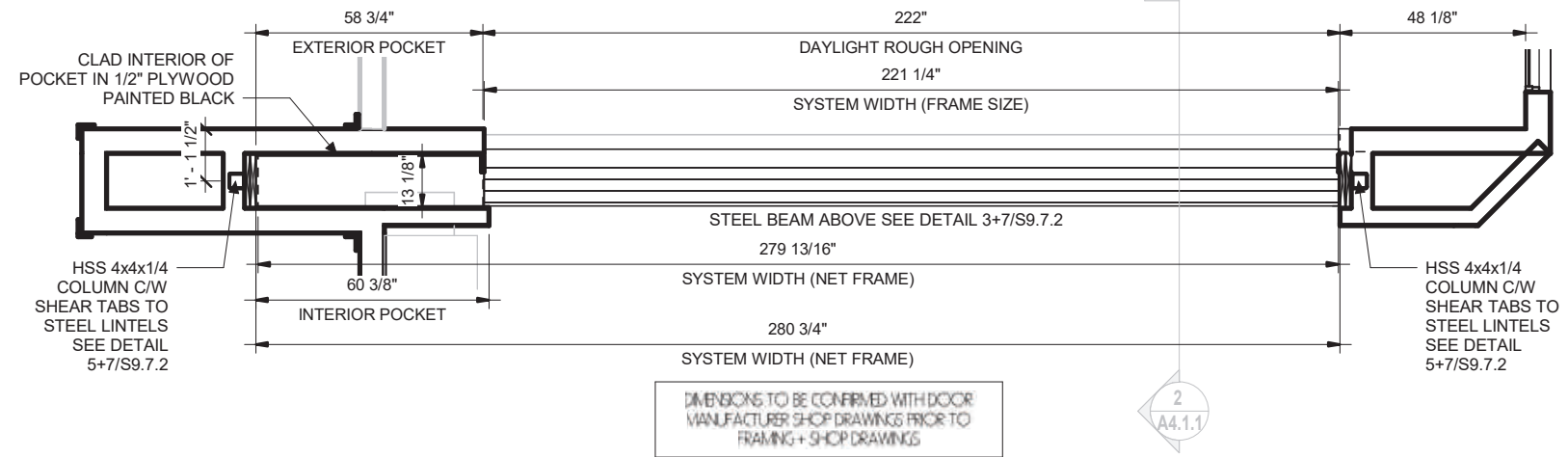


4 SHEAR TAB DETAIL  
NTS

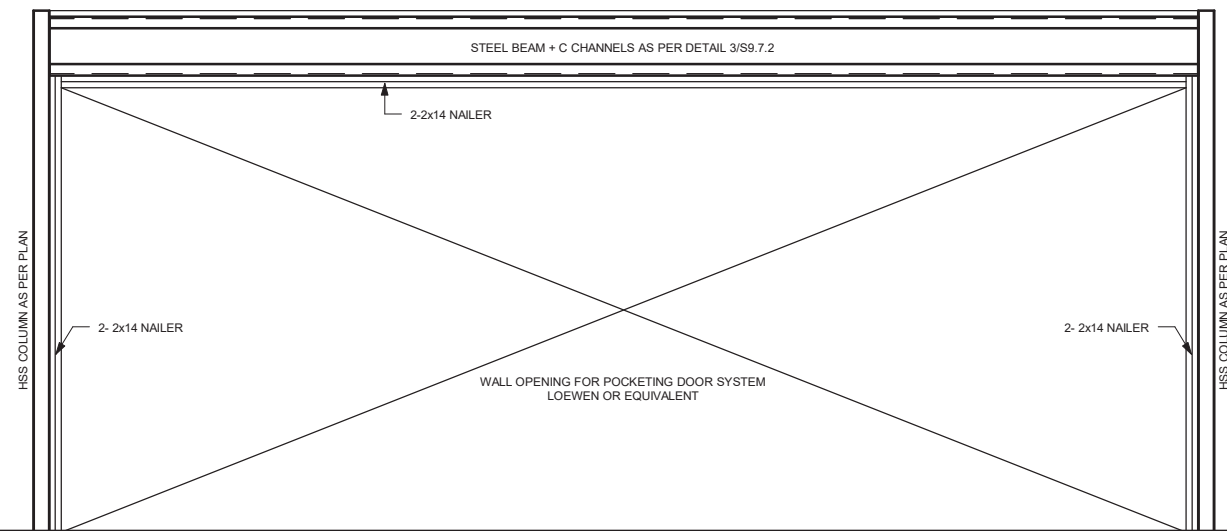


- NOTES:
1. SEE MAIN FLOOR PLAN FOR HSS COLUMN SIZES
  2. BEARING PLATES TO BE A 1/2" PLATE MATERIAL
  3. (2) 3/8" DIAMETER THREADED ROD W/ SET 3G EPOXY OR EQUIVALENT, EMBED MIN. 4" INTO FROST WALL
  3. SET BEARING PLATES FOR FULL AND LEVEL BEARING. GROUT TO BE LEVELED AS REQUIRED.

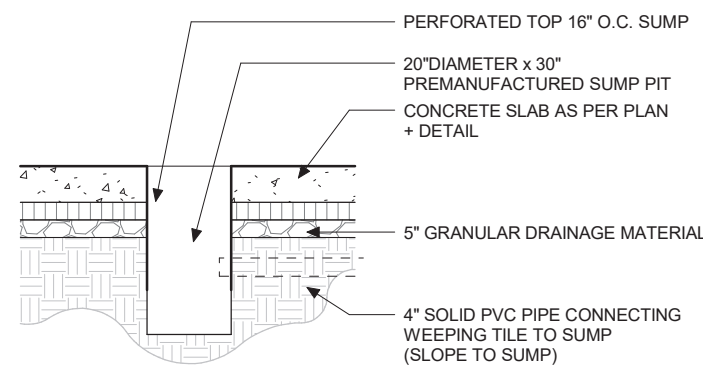
5 HSS BASE PLATE DETAIL  
NTS



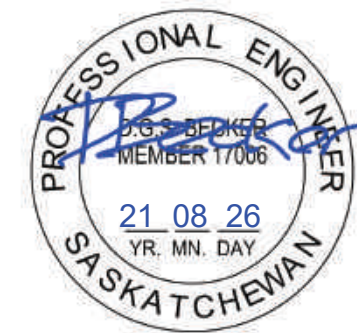
6 DETAILED PLAN - POCKET DOOR  
S9.7.2 1/4" = 1'-0"



7 TALL WALL FRAMING - POCKET WALL  
NTS



8 SUMP PIT DETAIL  
NTS



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S9.7.2